

**Form Based Codes 101:  
ABCs for Form Based Codes  
Monday, October 17, 2016**

**Preparing a Form-Based Code**

**10:00-10:45AM**

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Urban Land Institute  
2001 L Street, NW, Suite 200  
Washington, D.C.

# Topics Covered

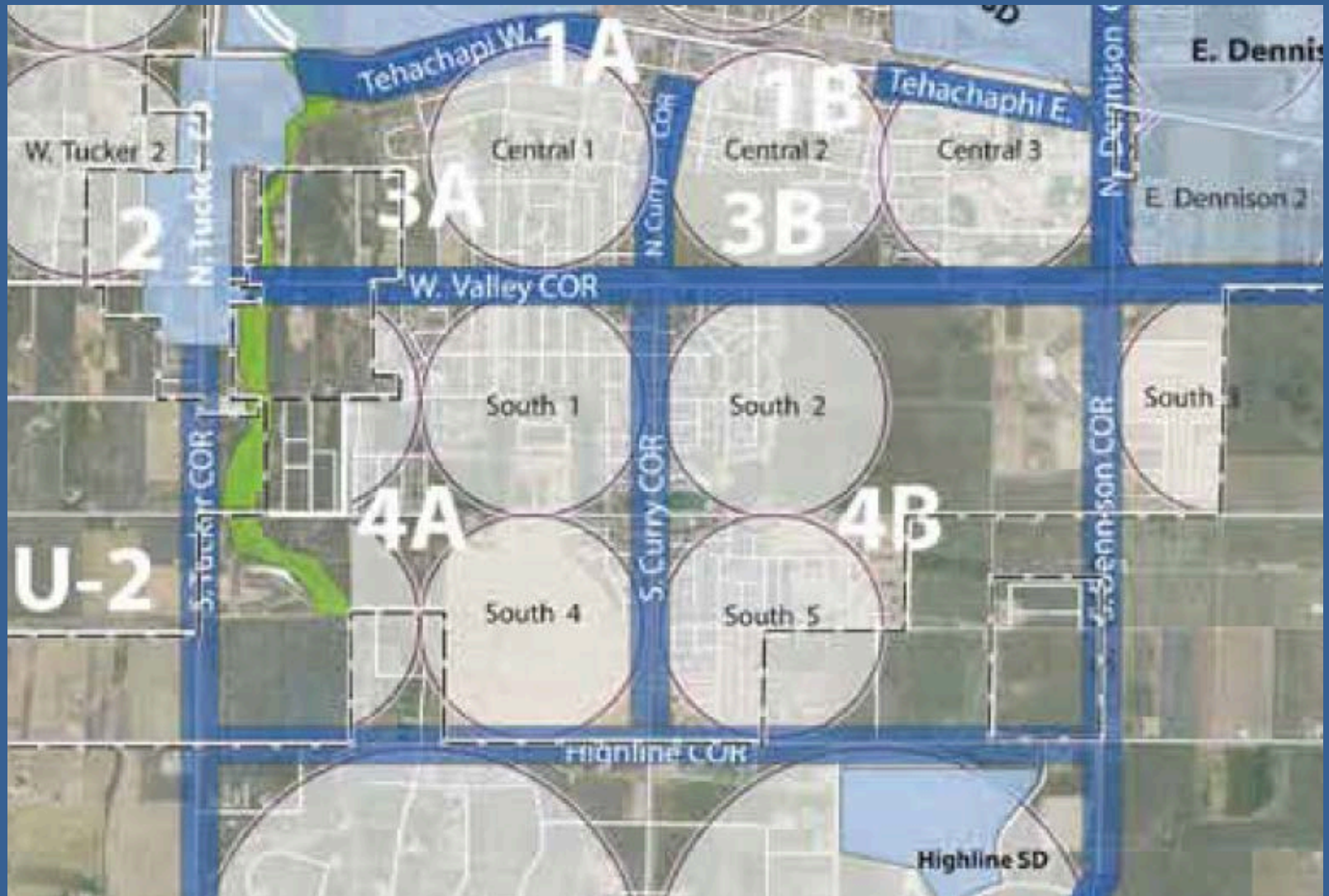
1. Developing a Shared Community Vision
2. Translating the Vision to Code
3. Creating FBC components

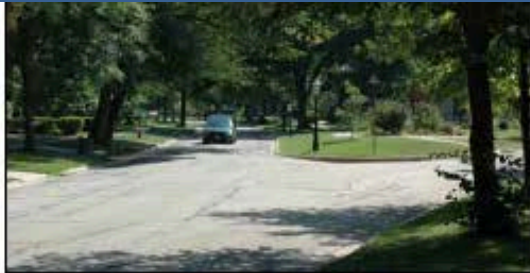
# Developing a Shared Community Vision

# Community Design Charrette



# Neighborhoods, Districts, Corridores



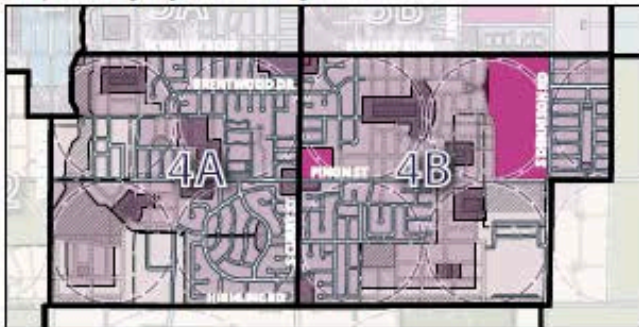


Above and Right:  
Canopy trees spatially define the streetscape and provide strong shade in summer while letting light in during winter.



Right:  
Civic space serves as a neighborhood focus providing for neighborhood events and activities as well as limited service-oriented businesses in house-scale buildings.

Below:  
Detail plan view of Regulating Plan for southern neighborhoods



Top right and Right:  
Single-family houses occupy the majority of these neighborhoods, providing moderately sized front and rear yards while shaping the public realm through house design which enables vehicular access and emphasizes public rooms and visibility on the street.

**SOUTHERN NEIGHBORHOODS: AREAS 4A, 4B - Vision/Intent**

**Role in Tehachapi:** These neighborhoods provide the majority of single-family detached houses in Tehachapi and serve to transition from the rural neighborhoods and adjacent agriculture to the central neighborhoods.

**Transect Designations:** T-3, T-4, T-4.5



**Physical Character:** Low-scale, single story and 2-story houses separated by moderate yards. Buildings are set back or near the sidewalk to appropriately define the residential streetscape. Mixed-uses are accommodated by the carefully located occasional house-form building at a key corner or public space in a small mixed-use center. The street network is a combination of interconnected and discontinuous with the objective of connecting key streets with one another to promote better walkability, emergency access and circulation. Streetscapes are continuous and emphasize landscape with canopy trees in tree lanes and/or tree wells.

**Walkability:** Continuous sidewalks provide comfortable areas for strolling and where possible, tree lanes/planted parkways separate the pedestrian from vehicular traffic. Crossing distances for pedestrians are short with curb radii sized from 15 to 25 feet and sometimes combined with curb-extensions (bulb-outs).

**Sustainability:** Individual houses and their site design accommodate the collection of rainwater for use in landscape or recycled water for bathroom use. The right-of-way design incorporates the capture of stormwater runoff to help with groundwater recharge and clean the water while providing dual use park and open space. The occasional local retail or service use helps to reduce vehicular traffic and promote walking.

**Range of Activity:** Residential, home-occupations, limited retail and service when in small, appropriate mixed-use centers (only within T-4.5 areas).

**Patterns:** New blocks vary but are generally short to promote connectivity and to emphasize the more detached and less intense nature of these areas.



Left: Existing neighborhoods are completed or connected with new development that strategically



Right: Example of typical residential street with a variety of house-form buildings and a pedestrian-oriented public realm.

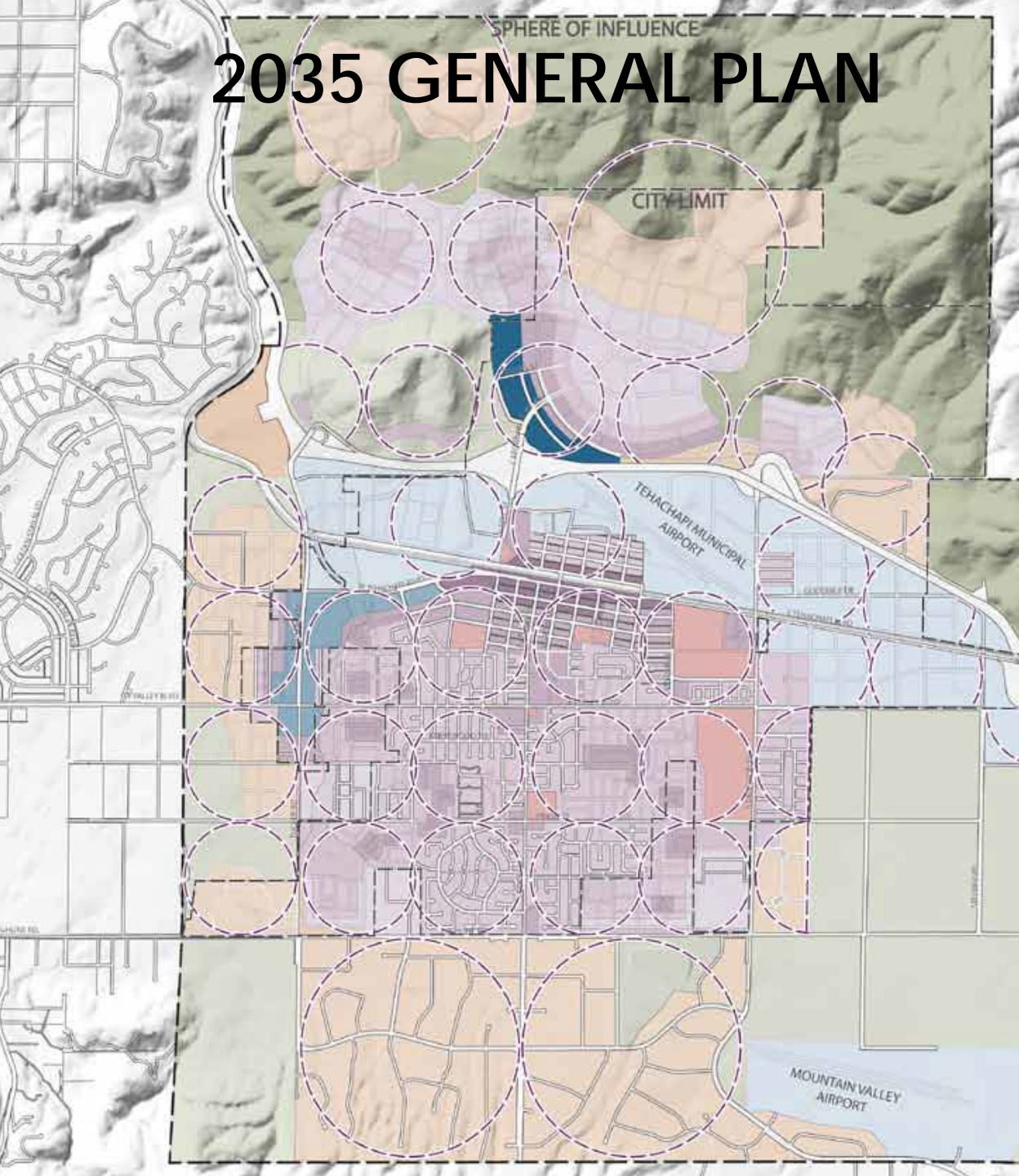


Right: Example of residential corridor between two neighborhoods providing community-wide circulation route while activating a pedestrian-oriented public realm and avoiding perimeter walls.

# Translating Vision to Code



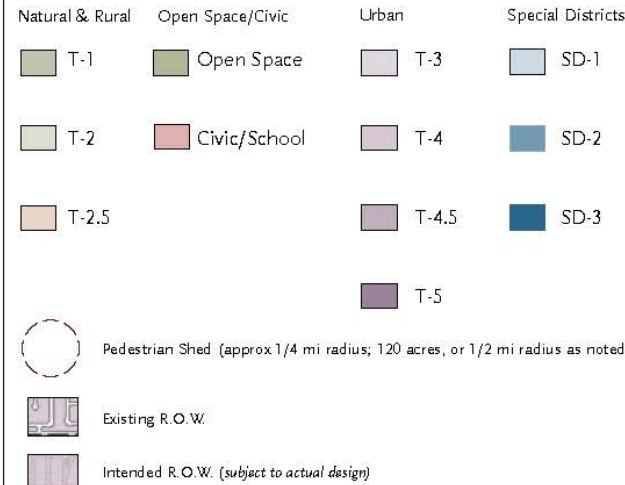
# 2035 GENERAL PLAN



## B. ZONING CODE UPDATE:

As with Tehachapi's Zoning map, Tehachapi's zoning code will need to reflect all of the zones identified in the Town Form Element (Figure 2-3, *Regulating Plan and Transect Zones*). This is necessary because none of the existing zoning districts currently enable or fully articulate the community vision. As an alternative to new zoning districts, the existing zoning districts could be amended to include the necessary provisions. Based on the extent of necessary changes to make existing zoning districts consistent with Table 2-3A, it may be more practical to replace the existing zoning districts with new ones that are fully integrated with the community vision. Each new zoning district will need to reflect the direction in the vision regarding intent, and in Table 2-3A for allowed land use activity, allowed building types, allowed frontage types, allowed street and open space types. From the vision and Table 2-3A, development standards regulating the intensity and amount of development to be applied to each implementing zoning district.

**FIGURE 2-3: REGULATING PLAN AND TRANSECT ZONES**



This diagram is intended to illustrate the transect zones that will carry out the vision while identifying potential alignments of new thoroughfares and open spaces. The actual design and alignments are subject to the parameters set forth in this General Plan, the City's zoning requirements and the public process.

# General Plan Building Types

appropriate building types and their general  
 whole. These types carry out the community  
 of physical contexts throughout town. This  
 generates the finely-grained and diverse pattern  
 at Tehachapi.  
 Tehachapi's range of appropriate building types  
 is intense: the combination of land use, density,



## House-Form Buildings

## Block-Form Buildings

**B**  
 HOUSE & CARRIAGE  
 HOUSE

**C**  
 SIDERYARD  
 HOUSING

**D**  
 BUNGALOW  
 COURT

**E**  
 DUPLEX, TRIPLEX, &  
 QUADPLEX

**F**  
 VILLA

**G**  
 ROWHOUSE

**H**  
 COURTYARD  
 HOUSING

**I**  
 INDUSTRIAL  
 SHED

**J**  
 LINED FLEX  
 BUILDING

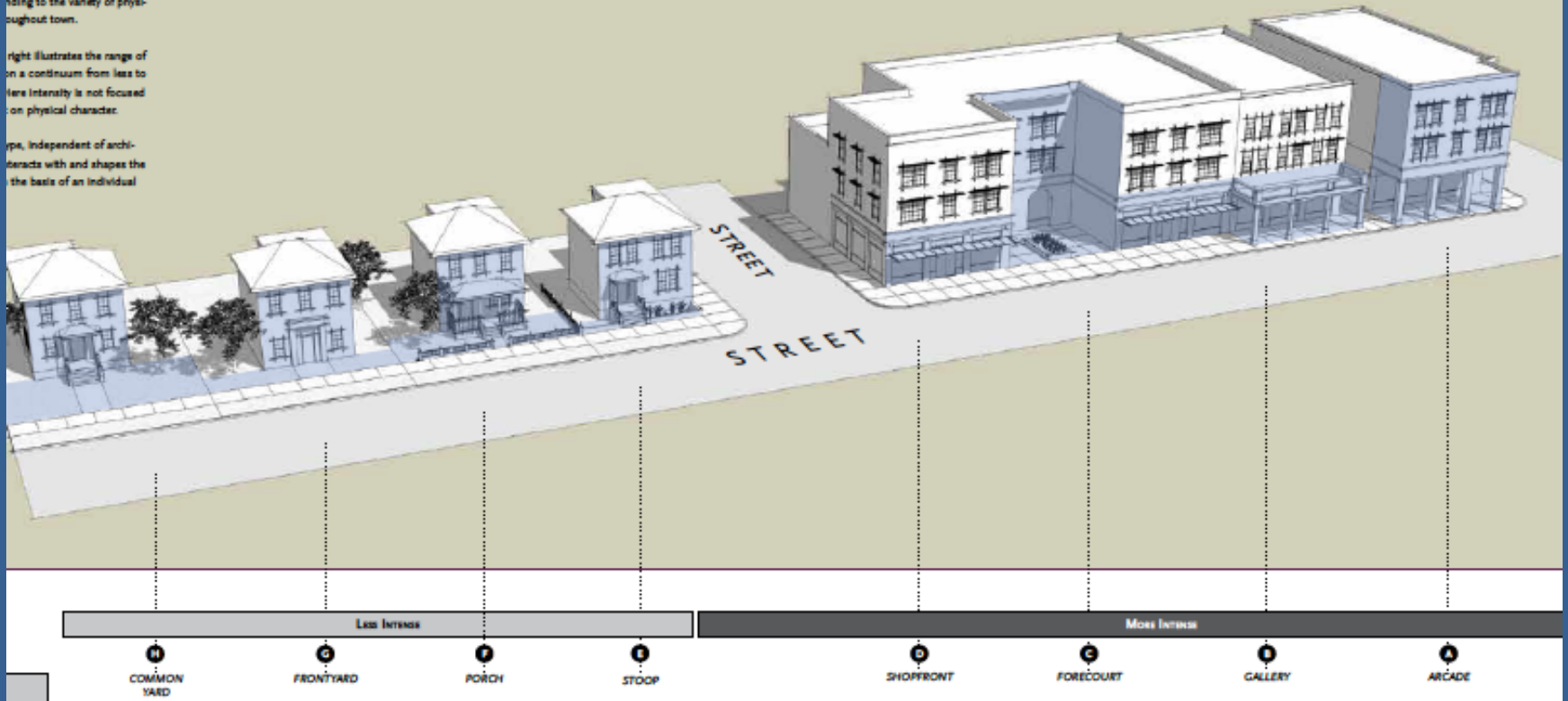
# General Plan Frontages

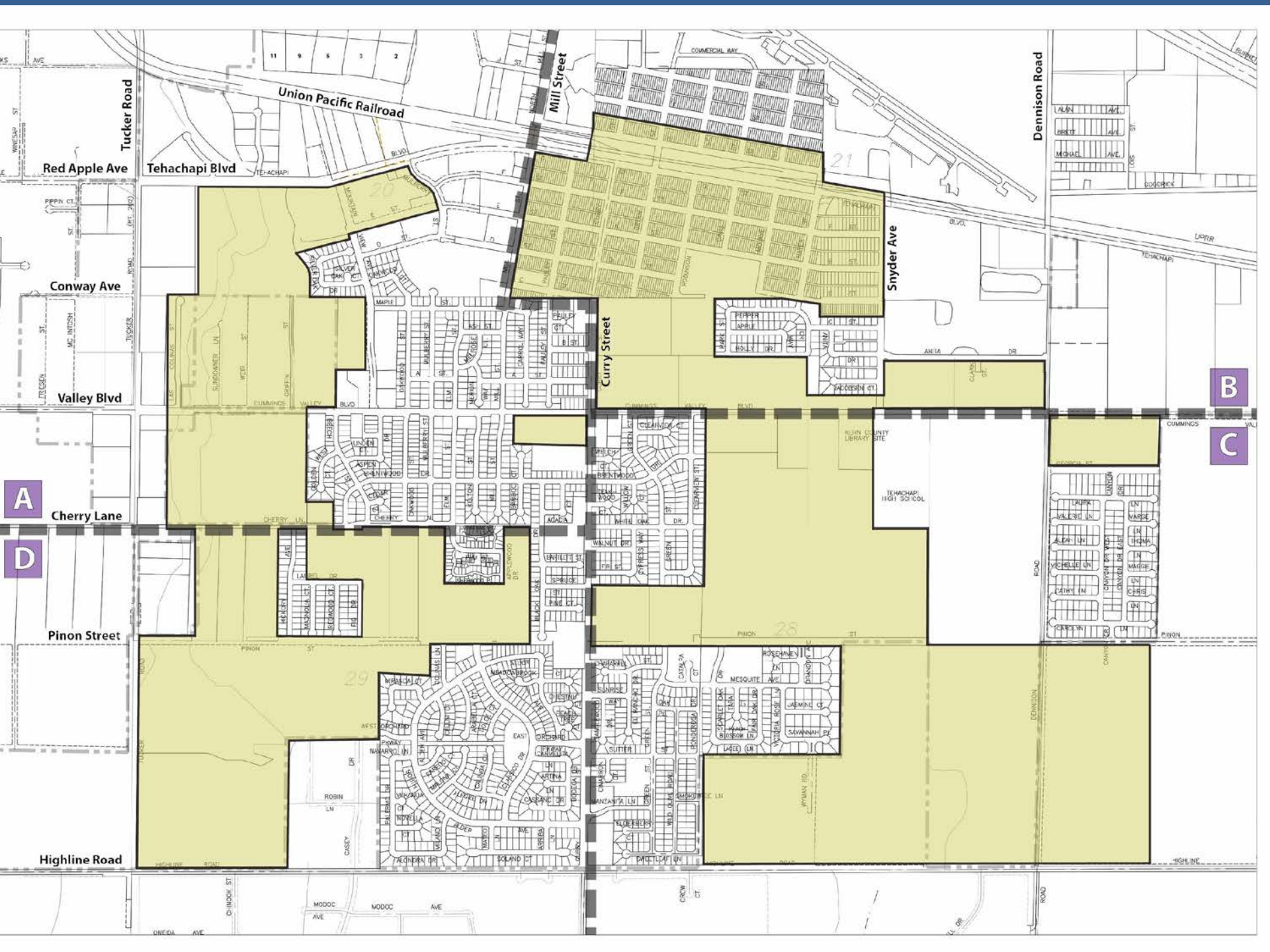
TABLE 2-3B: RANGE OF COMPATIBLE FRONTAGE TYPES

ifies the range of appropri-  
es and their general char-  
shachapi as a whole. These  
carry out the community  
nding to the variety of phys-  
oughout town.

right illustrates the range of  
on a continuum from less to  
ere intensity is not focused  
on physical character:

ype, independent of archi-  
teracts with and shapes the  
the basis of an individual





Red Apple Ave

Conway Ave

Valley Blvd

Cherry Lane

Pinon Street

Highline Road

Tucker Road

Tehachapi Blvd

Mill Street

Snyder Ave

Dennison Road

Union Pacific Railroad

Curry Street

A

D

B

C

29

28

21

OREGA AVE

MODOC AVE

CROW CT

ROAD

HIGHLINE

ROAD

TEHACHAPI HIGH SCHOOL

YOUNG COUNTY LIBRARY SITE

# EXISTING CONDITIONS ANALYSIS

Building types

Frontage types

Open space types

Land uses

Parking access and placement

Block size

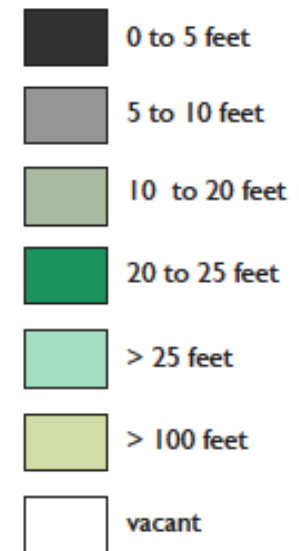
Thoroughfare types

# Tehachapi Code

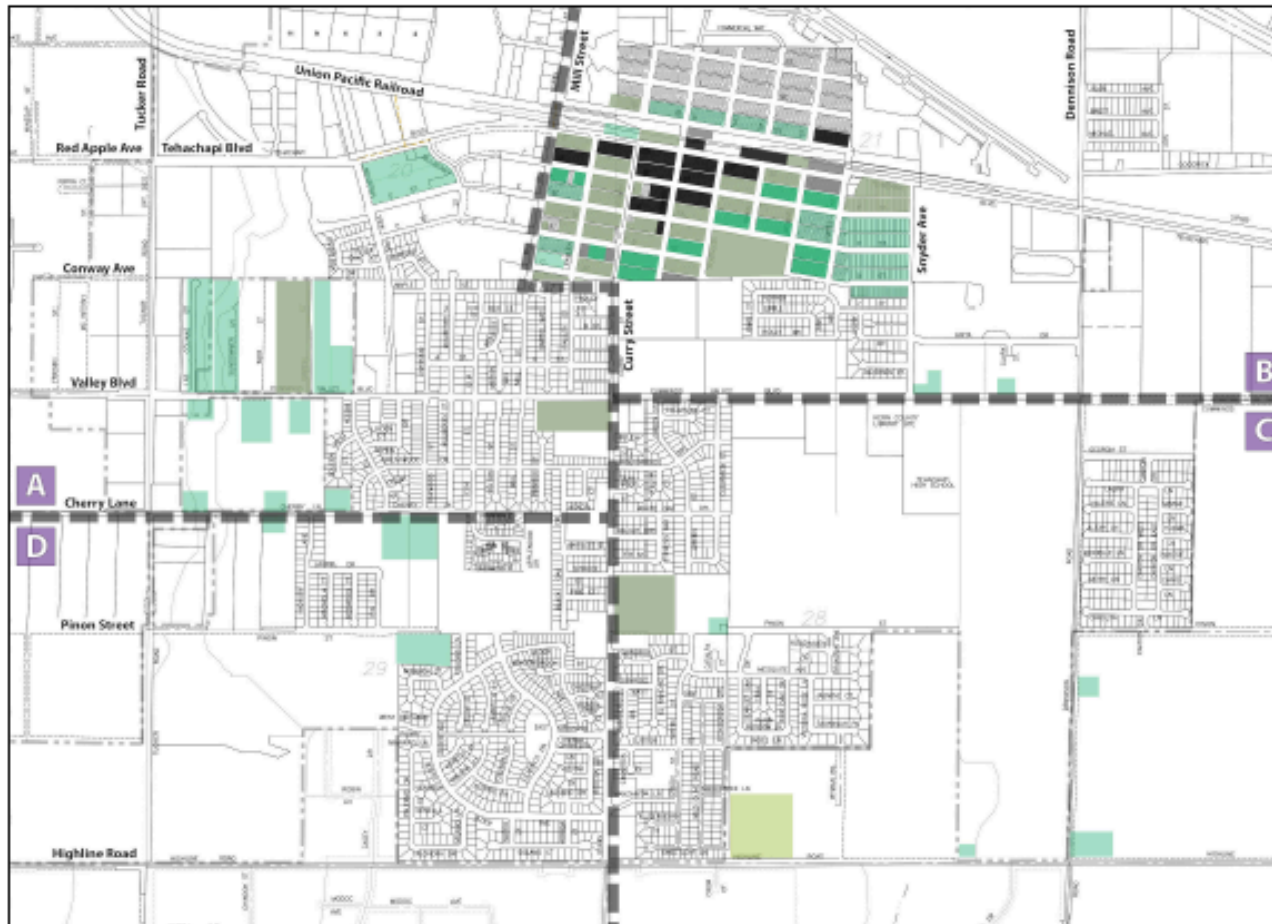
## Existing Building Facade Placement

### Key

Distance from front property line



The identified distances reflect the prevalent condition on each block face.



# Tehachapi Code

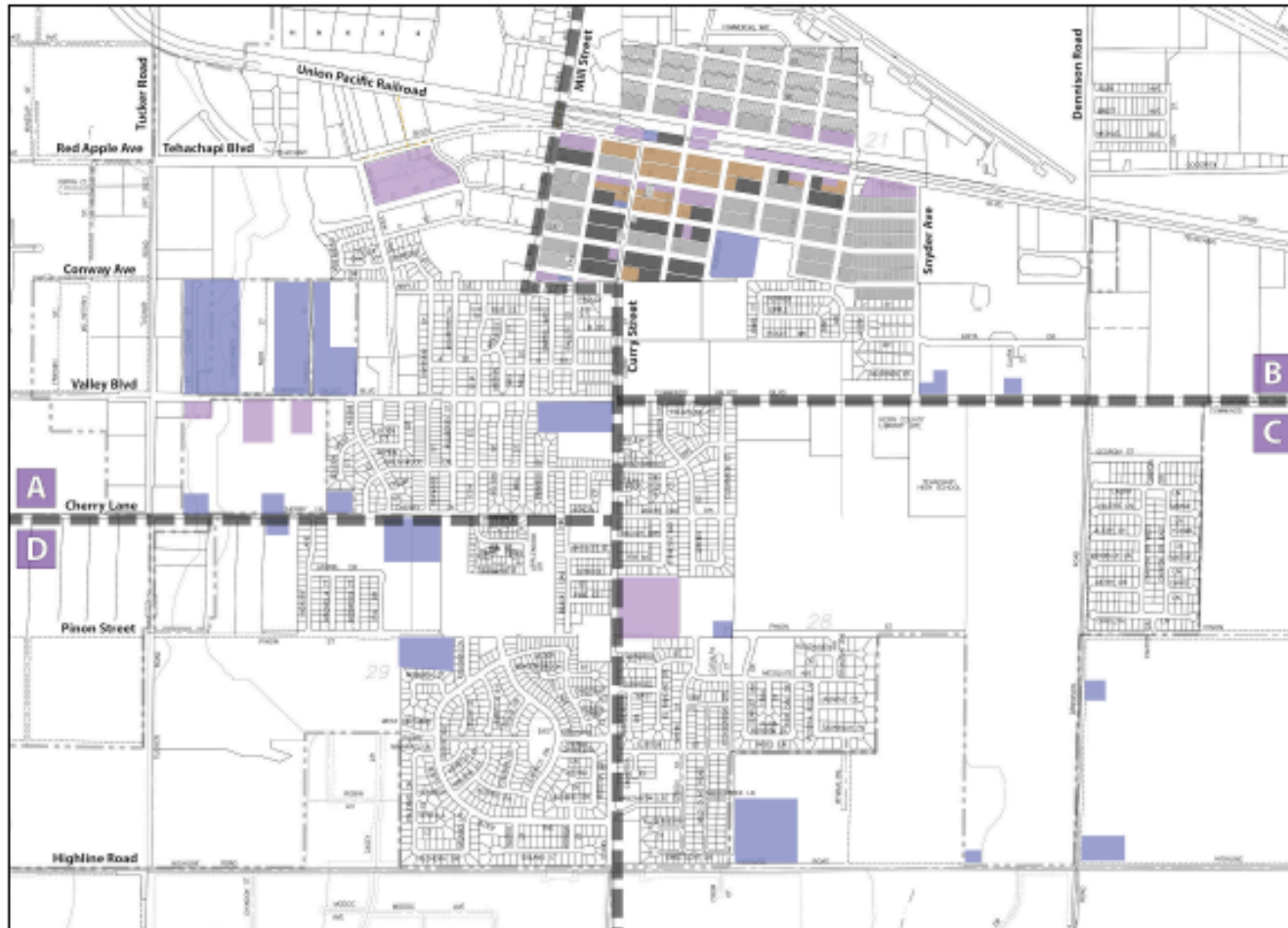
## Existing Parking Access and Placement

### Key

#### Off-street parking access/location

-  from street
-  from alley
-  from street and alley
-  street-access parking lot
-  alley-access parking lot
-  vacant

The identified conditions reflect the prevalent parking access and placement on each block face.



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Article 1. Intent

Article 2. General to All

Article 3. Specific to Zones

Article 4. General to Zones

Article 5. Building and Frontage Standards

Article 6. Specific Uses

Article 7. Signs

Article 8. Open Space and Street Standards

Article 9. Procedures

Article 10. Administration

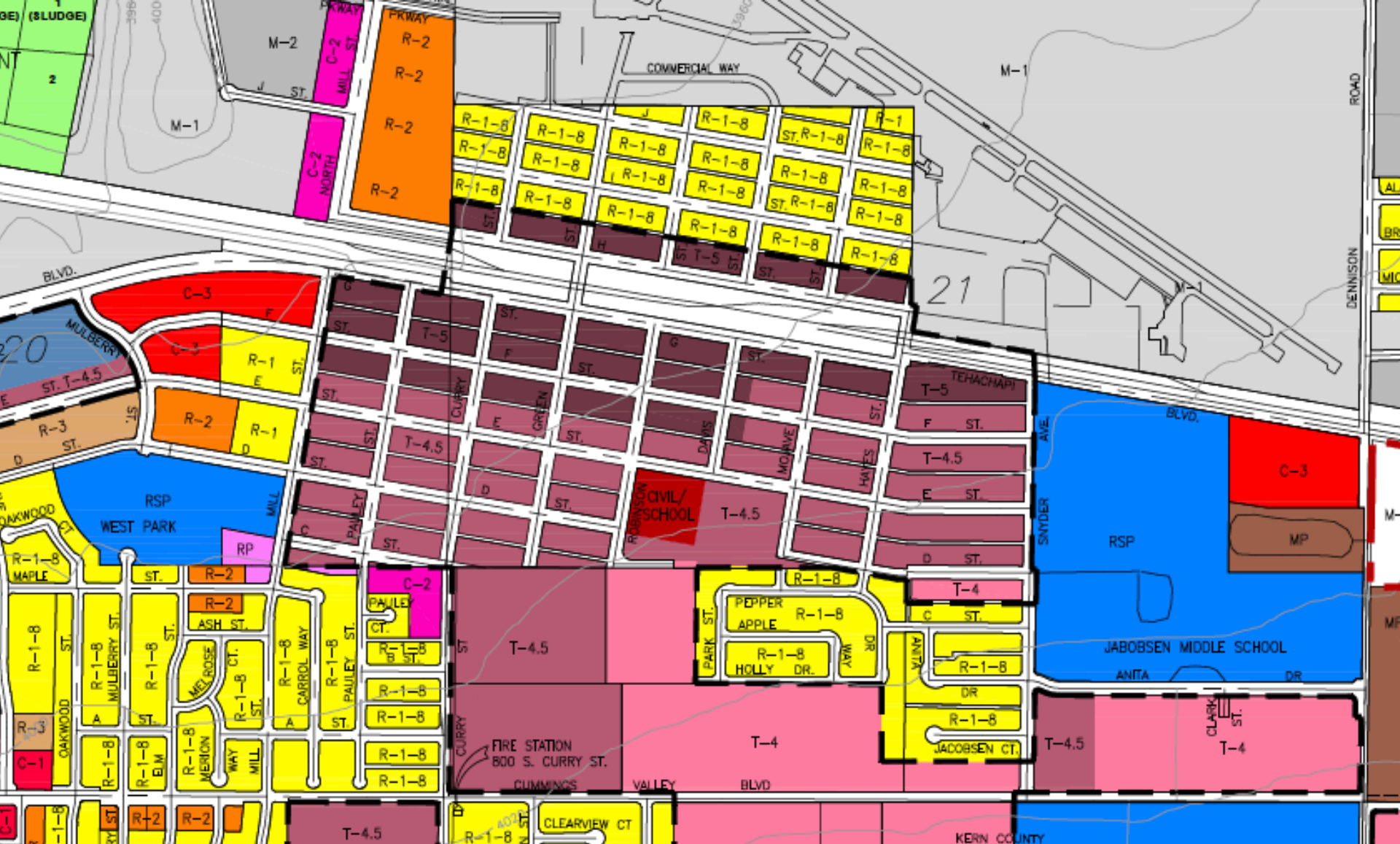
Article 11. Definitions



# Creating FBC Components

- Transect Zones
- Development standards: building/parking placement
- Use regulations
  
- Building type standards
- Frontage type standards
- Open space standards
- Street standards

# Regulating Plan



# TRANSECT ZONES- URBAN TO RURAL

Chapter 3.20 Transect Zones

Chapter 3.20 Transect Zones

TABLE 3.20 SUMMARY OF ZONES	DOWNTOWN (T5)	NEIGHBORHOOD CENTER (T4.5)	NEIGHBORHOOD GENERAL (T4)	NEIGHBORHOOD EDGE (T3)	RURAL GENERAL (T2.5)	RURAL EDGE (T-2)	TEHACHAPI BLVD WEST (SD-2.1)		
SUMMARY OF INTENDED PHYSICAL CHARACTER									
<b>BUILDINGS (See Section 5.10 for all requirements)</b>									
<b>BLOCK - FORM TYPES</b>	ALLOWED	MAX STORES/FT	ALLOWED	MAX STORES/FT	ALLOWED	MAX STORES/FT	ALLOWED	MAX STORES/FT	
Lined Building	Lined Building	3/7, 35, (1)							
Flex Building Large	Flex Building Large	3/7, 15, (4)					Flex Building Large	3/7, 35	
Flex Building Small			Flex Building Small	2.5/26			Flex Building Small	2/26	
Barn						Flex Building Small (1) Barn	1.5/15 1.5/18		
Rowhouse BF	Rowhouse BF	3/7, 36, (4)					Barn	1.5/26	
								Rowhouse BF	2.5/36
<b>HOUSE - FORM TYPES</b>	ALLOWED	MAX STORES/FT	ALLOWED	MAX STORES/FT	ALLOWED	MAX STORES/FT	ALLOWED	MAX STORES/FT	
Rowhouse 1F			Rowhouse 1F	2.5/26	Freewhouse 1F	2/24			
Courtyard Building	Courtyard Building	2.5/33	Courtyard Building	2.5/26	Courtyard Building	2/24			
Bungalow Court			Bungalow Court	3.5/24	Bungalow Court	2/22			
Villa	Villa	2.5/26(1)	Villa	2.5/26	Villa	2/22		Courtyard Building	2.5/33
Duplex			Duplex	2.5/26	Duplex	2/22			
House	House	2.5/26(1)	House	2.5/26	House	2/22	Duplex	2/22	
Estate						2/22	House	2/22	
						2/24	Estate	2.5/26	
								2.5/26	
<b>FRONTAGES (See Section 5.20 for all requirements)</b>									
<b>TYPE</b>	ALLOWED		ALLOWED		ALLOWED		ALLOWED		
Gallery	Gallery		Gallery (1)			Gallery (1)		Gallery (1A)	
Shopfront	Shopfront		Shopfront (1)			Shopfront (1)		Shopfront (1A)	
Forecourt	Forecourt							Forecourt	
Parking Court	Parking Court (2)							Parking Court (2A)	
Terrace								Terrace	
Walled Yard	Walled Yard		Walled Yard		Walled Yard			Walled Yard	
Stoop			Stoop		Stoop			Stoop	
Porch			Porch		Porch			Porch	
Front Yard			Front Yard		Front Yard			Front Yard	
Common Yard					Common Yard			Common Yard	
<b>OPEN SPACE (See Section 8.10 for all requirements)</b>									
<b>TYPE</b>	ALLOWED		ALLOWED		ALLOWED		ALLOWED		
Nature					Nature			Nature	
Agriculture	Agriculture		Agriculture		Agriculture			Agriculture	
Greenway	Greenway		Greenway		Greenway			Greenway	
Green			Green		Green			Green	
Plaza	Plaza							Plaza	
Square	Square		Square		Square			Square	
Passage	Passage		Passage		Passage			Passage	
Playground	Playground		Playground		Playground			Playground	
Sportsfield					Sportsfield				
Roof Garden	Roof Garden		Roof Garden		Roof Garden			Roof Garden	
<b>KEY TO NOTES FOR TABLE 3.20</b>									
Villa	Type allowed in zone	2/26	Maximum stories and height in feet to top plate of highest story	(1)	Only at the intersection of two "Road" thoroughfare types (8.20.060)				
blank	Type not allowed in zone	2.5	Maximum of three stories with 3rd story as occupied space within the 2nd story roof volume	(1A)	Only on Tehachapi Blvd within 100 feet of street corner	(2)	Only on side street	(3)	Only when adjacent to an allowed open space type
						(2A)	Only on Tehachapi Blvd, at least 150 feet from street corner	(G)	3-story facades require 1-story gallery on at least 2/3 of facades within facade layer
								(T)	Type not allowed on north side of Tehachapi Blvd

# WITHIN EXISTING NEIGHBORHOODS

- Regulating Plan
- Transect Zone
- Building Type
- Frontage Type
- Open Space

TABLE 3.20 SUMMARY OF ZONES		DOWNTOWN (T5)		NEIGHBORHOOD CENTER (T4.5)		NEIGHBORHOOD GENERAL (T4)	
SUMMARY OF INTENDED PHYSICAL CHARACTER							
<b>BUILDINGS (See Section 5.10 for all requirements)</b>							
<b>BLOCK - FORM TYPES</b>		ALLOWED	MAX STORIES/FT	ALLOWED	MAX STORIES/FT	ALLOWED	MAX STORIES/FT
Lined Building		Lined Building	3 / 35 (G, T)				
Flex Building Large		Flex Building Large	3 / 35 (G)				
Flex Building Small				Flex Building Small	2.5 / 26		
Barn							
Rowhouse 'BF'		Rowhouse 'BF'	3 / 30 (G)				
<b>HOUSE - FORM TYPES</b>		ALLOWED	MAX STORIES/FT	ALLOWED	MAX STORIES/FT	ALLOWED	MAX STORIES/FT
Rowhouse 'HF'				Rowhouse 'HF'	2.5 / 26	Rowhouse 'HF'	2 / 24
Courtyard Building		Courtyard Building	2.5 / 30	Courtyard Building	2.5 / 26	Courtyard Building	2 / 24
Bungalow Court				Bungalow Court	2.5 / 24	Bungalow Court	2 / 22
Villa		Villa	2.5 / 26 (T)	Villa	2.5 / 26	Villa	2 / 22
Duplex				Duplex	2.5 / 26	Duplex	2 / 22
House		House	2.5 / 26 (T)	House	2.5 / 26	House	2 / 22
Estate							
<b>FRONTAGES (See Section 5.20 for all requirements)</b>							
TYPE		ALLOWED		ALLOWED		ALLOWED	
Gallery		Gallery		Gallery (3)			
Shopfront		Shopfront		Shopfront (3)			
Forecourt		Forecourt					
Parking Court		Parking Court (2)					
Terrace							
Walled Yard		Walled Yard		Walled Yard		Walled Yard	
Stoop				Stoop		Stoop	
Porch				Porch		Porch	
Front Yard				Front Yard		Front Yard	
Common Yard							
<b>OPEN SPACE (See Section 8.10 for all requirements)</b>							
TYPE		ALLOWED		ALLOWED		ALLOWED	
Nature						Nature	
Agriculture		Agriculture		Agriculture		Agriculture	
Greenway				Greenway		Greenway	
Green				Green		Green	
Plaza		Plaza		Plaza			
Square		Square		Square		Square	
Passage		Passage		Passage		Passage	
Playground		Playground		Playground		Playground	
Sportsfield						Sportsfield	
Roof Garden		Roof Garden		Roof Garden		Roof Garden	
<b>KEY TO NOTES FOR TABLE 3.20</b>							
Villa	Type allowed in zone	2 / 26	Maximum stories and height in feet to top plate of highest story	(1)	Only at the intersection of two "Road" thoroughfare types (8.20.080)		
blank	type not allowed in zone	2.5	Maximum of three stories with 3rd story as occupied space within the 2nd story roof volume	(1A)	Only on Tehachapi Blvd within 100 ft of street corner		

# TRANSECT ZONES- INTENT AND LAND USE

## Chapter 3.20 Transect Zones

### 3.20.030 Rural Edge (T2) Zone

#### A. Intent and Purpose

The RE zone is applied to areas intended for low intensity rural activity to physically define Tehachapi's edges.

**1. Physical Character.** Very few buildings occur in the RE zone and consist of the Barn and the Estate building types with the Small Flex Building allowed at crossroads as defined in this code. Buildings are varied in height, up to 2.5 stories and are set back from the road to maintain a rural environment.

- a) Property shall comply with the development standards in Section C of the RE zone;
- b) Signage shall comply with Article 7 (Signs).

**2. Streetscape / Public Realm.** The streetscape is in support of natural and rural activity. Frontages consist of common yards, front yards, and porches with the shopfront for the Small Flex Building where allowed. Paths are used instead of sidewalks.

- a) New blocks shall have a minimum perimeter of 1 mile and comply with Chapter 8.20;
- b) Existing blocks shall comply with Chapter 8.20, when any of the following are modified or apply: i) vehicular access, ii) right-of-way, iii) streetscape;
- c) Adjacent streetscapes shall be improved per Chapter 8.20 when any of the following apply: i) new building or renovation/addition over 50%; ii) modification of site access; or iii) subdivision of land;

**3. Land Use.** Land uses activities range from agriculture to residential, limited service, office, and restaurant businesses.

- a) Existing non-conforming land uses may remain per the requirements of Chapter 10.30.040;
- b) New or expanded land use activity shall comply with Section B of the RE zone.

**4. Parking.** Parking is provided through a system of on-street and off-street spaces.

- a) Existing parking shall be improved when any of the following apply: i) new building or renovation/addition over 50%; ii) modification of site access; or iii) subdivision;
- b) New or expanded parking shall comply with Sections B and C.2 of the RE zone.

#### Examples of the RE Zone's range of intended physical character:



Above: Agriculture, nature and very limited rural development characterize the Rural Edge zone.



Above: Barn and accessory buildings are organized in support of rural and agricultural activities that emphasize Tehachapi's natural edges.

#### B. Land Use Standards

- 1. Allowed Land Use Types.** Table 3.20.030 identifies the allowed land use activity, the required permit, the amount of required parking, and any special requirements. The identified permit is required prior to establishing operations.
- 2. Multiple Land Use Types.** A building or building site may utilize multiple land use types per the applicable requirements of Table 3.20.030.
- 3. Location and Size of Land Use Type.** In order to promote land use compatibility, allowed land use types shall comply with the identified requirements for size and location.

## Chapter 3.20 Transect Zones

### Rural Edge (T2) Zone 3.20.030

Table 3.20.030 Land Use Standards

Category	Use	Permit	Pkg
Entertainment and Recreation	Adult Entertainment	-	-
	Cinema, Nightclub, Health / Fitness	-	-
	Outdoor Recreation	MUP	1/400
	Live/Amplified Music	MUP(3)	1/5
	Meeting Facility, Amphitheater	MUP(3)	1/5
Restaurant and Food	Drive-Through	-	-
	Pub / Bar, Micro-Brewery	-	-
	Restaurant (may incl alcohol sales)	MUP(3)	1/600
	Outdoor Dining	P(3)	0
Retail	Wine Tasting/Microbrewery	MUP(3)	1/400
	Alcohol Sales (off-site)	-	-
	Artisan / Craft MFG (w/ on-site sales), Art Gallery / Exhibition	P	1/400
	Retail <2,000 sq ft	MUP	1/400
	Retail >2,000 sq ft	-	-
	Secondhand Stores	-	-
Services	Care Facility for the Elderly (1-6)	-	-
	Care Facility for the Elderly (7>)	-	-
	Day Care: Adult Day	-	-
	Day Care: Small House < 7	-	-
	Day Care: Large House 7 to 14	-	-
	Day Care Center > 15	-	-
	Emergency Shelter	-	-
	Funeral Home	-	-
	Group Home < 7 clients	-	-
	Group Home > 7 clients	-	-
	Hotel / Motel	-	-
	Inn (B&B)	MUP	1/3R
	Medical Services	-	-
Business or Personal Services	-	-	
Repair, Commercial (non-vehicular)	-	-	
Transitional and Supportive Housing	-	-	
Veterinary Clinic/Boarding	MUP	1/500	
Office and Civic	Office, General <2,000 sq ft	P	1/400
	Government, Civic, Library	-	-
	School, College, University	-	-
	Transit Station	-	-

#### Key

P	Permitted Use - Zoning Clearance Required.
MUP	Minor Use Permit Required. See 9.30.50.B
CUP	Conditional Use Required. See 9.30.50.A
-	Use not allowed
(3)	See Article 6 'Specific to Uses'

Category	Use	Permit	Pkg	
Residential	Farmworker Housing	-	-	
	Carrage House or Guest House (Secondary Dwelling)	P(3)	1/1U	
	Home Occupation	P(3)	0	
	Mobile Home Park / Subdivision	-	-	
	Multi Family Residential	-	-	
	Rooming and Boarding House	-	-	
Industrial	Single Family Residential	P	2/M	
	Agriculture	P	-	
	Manufacturing (perishable: e.g. cider, apple juice) <2,000 sq ft bldg	MUP	0	
	Manufacturing (non-perishable) <2,000 sq ft	P	1/500	
	Power / Electrical Substation	-	-	
	Reverse Vending Machine	-	-	
	Small Collection Facility	-	-	
	Car Wash	-	-	
	Motor-Vehicle Related	Gas Station (non-commercial vehicles) <50,000 sq ft site area	MUP(3)	1/500
		Gas Station (commercial vehicles)	-	-
Recreational Vehicle Park		-	-	
Repair, commercial (motor vehicles)		-	-	
Communications	Motor Vehicle Sales, Rentals	-	-	
	Telecommunications Facilities	CUP(3)	0	
Other	Broadcasting / Recording Studio	-	-	
	Temporary Use	TUP(3)	0	
	Nature (see 8.10.050)	P	0	
	Agriculture (see 8.10.070)	-	-	
	Greenway (see 8.10.080)	P	0	
	Green, Plaza, Square, Passage	-	-	
Playground, Sportsfield	-	-		
Roof Garden (see 8.10.150)	P	0		

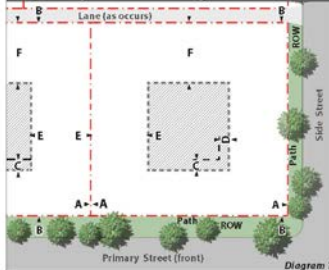
1/400	1 parking space required for each 400 sq ft of floor area
1/2R	1 parking space required for each 2 rooms
1/5	1 parking space required for each 6 students or seats
1/U	1 parking space required for each dwelling unit

# TRANSECT ZONES- DEVELOPMENT STDS

## 3.20.030 Rural Edge (T2) Zone

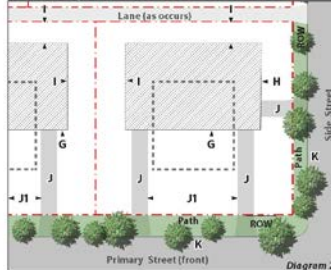
### C. Development Standards

#### 1. Building Site and Building Placement



Building Site Boundary - - - Buildable Area

#### 2. Parking Placement and Service Access



Building Site Boundary - - - Allowed Off-Street Parking Area

**1.1** Each building and addition shall be located on the building site per Diagram 1 and designed as one of the allowed types below:

Building Type	Building Site		Building Setbacks, Size			
	Width	Depth	Facade	Side	Rear	
	A	B	C	D	E	F
Estate	min 800	min 800	See 5.10.170			
Barn	min 800	min 800	See 5.10.090			
Flex Building Small	150-200	150-200	See 5.10.080			

Allowed only within 100 ft of the intersection of two 'Road' thoroughfare types.

**1.2** Building facades along streets shall be located within the facade layer 'C', 'D' per Diagram 1 and extend along frontage(s) per Section 3.2.

**2.1** Parking shall be located on the building site per Diagram 2. Parking areas shall consist of at least 50% pervious surfaces.

**2.2** Parking may be accessed from the street or rear lane as allowed by these standards.

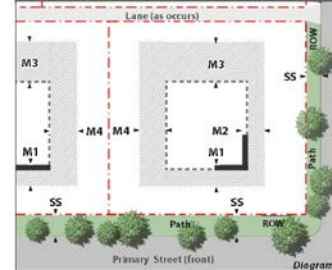
**2.3** Parking entries, driveways shall not exceed 12 ft wide, designed as integral, decorative components of the site. Driveways may only connect to each other within the allowed off-street parking area.

Parking Setback	Min ft	Screening Requirement
G Front	150; 30 (Flex Bldg Small)	none
H Along Side Street		
I Rear	30	Min 5 ft tall hedge
I Side	50	
J Parking Entry	20 when lane along interior sideyard Corner site: min 150 ft from corner Interior site: within 40 ft of either side when side street or rear lane not present	
J1 Driveway Separation	min 100 ft	
K On-Street Parking	min 75 ft from corner	

## Rural Edge (T2) Zone 3.20.030

### C. Development Standards

#### 3. Frontages and Encroachments



Building Site Boundary - - - Frontage Required (See FL for reqs)

SS Streetscape Area (See 8.20 for reqs) Encroachment Area (See 9.6 for reqs)

**3.1** Building facades shall be located on the building site per Diagram 3 and designed as one or multiple allowed types below:

Frontage Types	Requirements
Common Yard	See 5.20.150
Front Yard	See 5.20.140
Porch	See 5.20.130
Shopfront and Gallery (only for Flex Building Small)	See 5.20.060, 070

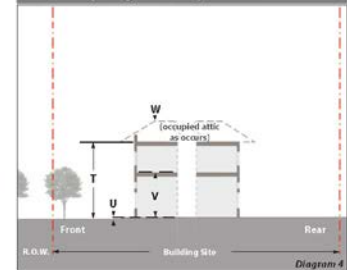
**3.2** Street facades shall extend along the frontage line per Diagram 3 and as identified in Section 'FL' below

FL	Amount of Ground Floor Facade in Facade-Layer
Along Primary St	Corner Site: 30% min from side street corner Interior Site: 30% min
Along Side St	30% min from primary street corner

**3.3** Building elements may encroach into required setbacks as identified below.

M	M1	M2	M3	M4
Estate	20	20	50	30
Barn	25	25	15	15
Flex Building Small	10	10	10	5

#### 4. Building Height and Adjacencies



Building Site Boundary - - -

**4.1** Buildings and additions shall comply with the requirements in Diagram 4. All numbers are stated as a range or maximum unless stated otherwise.

**4.2** Building height is measured vertically from average grade along the building edge to the top plate of the highest story.

**4.3** Roofs, chimneys, finials and portions of structures less than 200 square feet with no dimension exceeding 15 feet, are allowed up to 35 feet from the average grade along the building edge.

Building Type	T		U		V (min)		W
	Ft	Stories	Finished Flr Level from front bldg site line	Ground Floor to Floor Ht			
Estate	26	2.5	min 1.5	10	36		
Barn	26	1.5	n.a.	n.a.	36		
Flex Building Small	15	1.5	min 0.5	10	36		

# TRANSECT ZONES- INTENT AND LAND USE

## Chapter 3.20 Transect Zones

### 3.20.080 Downtown (T5) Zone

#### A. Intent and Purpose

The DT zone is applied to areas generally in Tehachapi's core for the purpose of being the cultural, speciality shopping, entertainment and civic core of Tehachapi and the Tehachapi Valley.

**1. Physical Character.** The widest variety of block-form and house-form buildings shape the public streetscapes. Buildings are varied in height, up to 3 stories, mixed and single use, and are near or at the sidewalk to spatially define the small-town main-street streetscape.

- a) Property shall comply with the development standards in Section C of the DT zone;
- b) Signage shall comply with Article 7 (Signs).

**2. Streetscape / Public Realm.** The streetscape is in support of high pedestrian activity. Frontages range from shopfronts, forecourts and galleries to terraces, and parking courts on side streets. Wide sidewalks with street trees accommodate outdoor dining and comfortable strolling.

- a) New blocks. Max perimeter: 1,600 feet, Max block length: 500 feet, shall comply with Chapter 8.20;
- b) Existing blocks shall comply with Chapter 8.20 when any of the following are modified or apply: i) vehicular access, ii) right-of-way, iii) streetscape, iv) block exceeds 600 feet on any side;
- c) Adjacent streetscapes shall be improved per Chapter 8.20 when any of the following apply: i) new building or renovation/addition over 50%; ii) modification of site access; or iii) subdivision;
- d) Open space shall be provided per Chapter 8.10 when any of the following apply: i) new building or renovation/addition over 50%; ii) modification of site access; or iii) subdivision;

**3. Land Use.** Land use activities focus on specialty retail, restaurants, services, civic/cultural, lodging, conference facilities, office and housing.

- a) Existing non-conforming land uses may remain per the requirements of Chapter 10.30.040;
- b) New or expanded land use activity shall comply with Section B of the DT zone.

**4. Parking.** Parking is provided through a shared system of on-street spaces and grouped, off-street spaces.

- a) Existing parking shall be improved when any of the following apply: i) new building or renovation/addition over 50%; ii) modification of site access; or iii) subdivision;

#### Examples of the DT Zone's range of intended physical character:



Above: A variety of buildings with ground floor non-residential activities shape the small town main street environment.



Above: Streetscapes are varied, emphasizing pedestrian comfort, scale and small town physical character.

- a) New or expanded building or renovation/addition over 50%; ii) modification of site access; or iii) subdivision;
- b) New or expanded parking shall comply with Sections B and C.2 of the DT zone.

#### B. Land Use Standards

**1. Allowed Land Use Types.** Table 3.20.080 identifies the allowed land use activity, the required permit, the amount of required parking and any special requirements. The identified permit is required prior to establishing operations;

**2. Multiple Land Use Types.** A building or building site may utilize multiple land use types per the applicable requirements of Table 3.20.080.

**3. Location and Size of Land Use Type.** In order to promote land use compatibility, allowed land use types shall comply with the identified requirements for size and location.

Table 3.20.080 Land Use Standards

Category	Use	Permit	Pkg
Entertainment and Recreation	Adult Entertainment	-	-
	Cinema	CUP (3)	1/4
	Nightclub	CUP (3)	1/300
	Health / Fitness	P	1/500
	Indoor / Outdoor Recreation	MUP	1/2
	Live/Amplified Music	MUP (3)	1/2
	Meeting Facility, Performing Arts, Amphitheater	MUP (3)	1/2
Restaurant and Food	Drive-Through	-	-
	Pub / Bar	MUP (3)	1/5
	Restaurant (may incl alcohol sales)	MUP (3)	1/5
	Sidewalk Dining	MUP (3)	0
	Wine Tasting/Microbrewery	PE (3)	1/5
Retail	Alcohol Sales (off-site)	CUP (3)	0
	Artisan / Craft MFG (w/ on-site sales), Art Gallery / Exhibition	P	1/500
	Retail <1,500 sq ft	P	max 1
	Retail <10,000 sq ft	P	1/500
	Retail >10,000 sq ft	MUP	1/400
	Care Facility for the Elderly <7	P	1/4
Services	Care Facility for the Elderly >7	P	1/4
	Day Care: Adult Day	P	1/4
	Day Care: Small House <7	P	1/4
	Day Care: Large House 7 to 14	MUP	1/4
	Day Care Center: >15	MUP	1/4
	Emergency Shelter	-	-
	Funeral Home	-	-
	Group home <7	P (B)	1/1
	Group home >7	-	-
	Hotel / Motel	MUP	1/2R
Inn (B&B)	MUP	1/3R	
Medical Services	Medical Services	P	1/500
	Business or Personal Services	P	1/500
	Personal Services, Restricted	CUP (3)	1/500
	Repair, commercials (non-vehicular)	P	1/500
	Transitional and Supportive Housing	MUP	1/1
	Veterinary Clinic / Indoor Boarding	MUP	1/500

#### Key

P	Permitted Use - Zoning Clearance Required.
MUP	Minor Use Permit Required. See 9.30.50.B
CUP	Conditional Use Required. See 9.30.50.A
-	Use not allowed
(3)	See Article 6 "Specific to Uses"

## Chapter 3.20 Transect Zones

### Downtown (T5) Zone 3.20.080

Category	Use	Permit	Pkg
Office and Civic	Office or Civic, Library, General	P	1/400
	Government	P	1/400
	School, College, University	CUP	1/5
	Transit Station	MUP	0
Residential	Farmworker Housing	PE (3)	1/10
	Granny Flat (Secondary Dwelling)	P	0.5/1
	Ground Floor	PE (3)	1/1
	Home Occupation	PE (3)	0
	Mobile Home Park / Subdivision	-	-
	Multi Family Residential	MUP	1/1
	Rooming and Boarding House	MUP	1/1
Industrial	Single Family Residential	-	-
	Single Room Occupancy	MUP	1/20
	Agriculture	PE (3)	-
	Manufacturing	-	-
	Power / Electrical Substation	-	-
Motor-Vehicle Related	Reverse Vending Machine	P	0
	Small Collection Facility	-	-
	Car Wash, Gas Station	-	-
	Recreational Vehicle Park	-	-
Communications	Repair, commercial (motor vehicles)	-	-
	Motor Vehicle Sales, new / used	-	-
	Motor Vehicle Rentals	MUP (PE)	1/300
Other	Telecommunications Facilities	CUP (3)	0
	Broadcasting / Recording Studio	MUP	1/400
	Temporary Use	MUP (3)	0
	Nature	-	-
	Agriculture (see 8.10.070)	P	0
	Greenway, Green	-	-
	Plaza (see 8.10.100)	P	0
	Square (see 8.10.110)	P	0
	Passage (see 8.10.120)	P	0
	Playground (see 8.10.130)	P	0
Sportsfield	-	-	
Roof Garden (see 8.10.150)	P	0	

1/400	1 parking space required for each 400 sq ft of floor area
1/2R	1 parking space required for each 2 rooms
1/6	1 parking space required for each 6 students or seats
1/1	1 parking space required for each dwelling unit

# TRANSECT ZONES- DEVELOPMENT STDS

## Chapter 3.20 Transect Zones

### 3.20.080 Downtown (T5) Zone

#### C. Development Standards

##### 1. Building Site and Building Placement

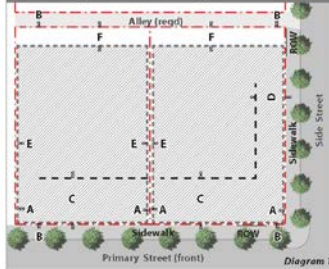


Diagram 1  
Building Site Boundary --- Buildable Area

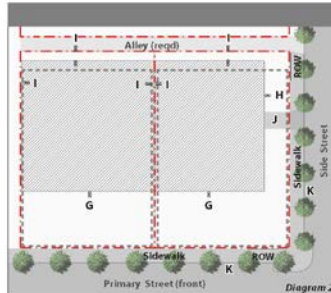


Diagram 2  
Building Site Boundary --- Allowed Off-Street Parking Area

**1.1** Each building and addition shall be located on the building site per Diagram 1 and designed as one of the allowed types below:

Building Type	Building Site		Building Setbacks, Size			
	Width	Depth	Facade	Side	Rear	
	A	B	C	D	E	F
House	40-50	90-150				See 5.10.160
Villa	65-125	145-200				See 5.10.140
Courtyard	125-175	150-200				See 5.10.120
Rowhouse BF	86-170	80-150	(1)			See 5.10.100
Flex Bldg Large	100-200	150-200				See 5.10.070
Lined Bldg	125-250	150-200				See 5.10.050

**1.2** Building facades along streets shall be located within the facade layer 'C', 'D' per Diagram 1 and extend along frontage(s) per Section 3.2.

(1) min 80 ft depth allowed only on north side of Tehachapi Blvd

**2.1** Parking shall be located on the building site per Diagram 2. Parking areas shall consist of at least 25% pervious surfaces.

**2.2** Parking / service areas shall be accessed from an alley or side street. No new driveways from street.

**2.3** Parking entries shall not exceed 15 ft wide, designed as integral, decorative components of the site.

Parking Setback	Min ft	Screening Requirement
G Front	50	By the building, or min 3" tall wall / hedge as allowed by Section 3.3
H Along Side Street	25	By the building, or min 3" tall wall / hedge
Rear	10	Min 5 ft tall wall / hedge
I Side	5	Min 3 ft tall wall / hedge 2 ft when alley along interior sideyard
J Parking Entry from side street		- Corner site: min 75 ft from corner
K On-Street Parking		- Primary street: min 30 ft from corner

##### 2. Parking Placement and Service Access

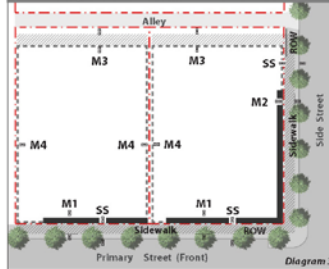


Diagram 3  
Building Site Boundary --- Frontage Required (See VC for requirements)  
SS Streetscape Area (See 3.2.3 for requirements)  
Encroachment Area (See VC for requirements)

**3.1** Building facades shall be located on the building site per Diagram 3 and designed as one or multiple allowed types below:

Frontage Types	Requirements
Walled Yard	See 5.20.110
Terrace	See 5.20.100
Parking Court (side street only)	See 5.20.090
Forecourt	See 5.20.080
Shopfront	See 5.20.070
Gallery	See 5.20.060

**3.2** Street facades shall extend along the frontage line per Diagram 3 and as identified in Section 'FL' below

FL	Amount of Ground Floor Facade in Facade-Layer
Along Primary St	- Corner Site: 90% min from side street corner - Interior Site: 80% min
Along Side St	75% min from primary street corner

**3.3** Building elements may encroach into required setbacks as identified below.

	M	M1	M2	M3	M4
House to Rowhouse BF		within 3 ft of curb	5	0	
Flex Bldg (L) to Lined Bldg		within 3 ft of curb	5	0	

## Chapter 3.20 Transect Zones

### Downtown (T5) Zone 3.20.080

#### C. Development Standards

##### 3. Frontages and Encroachments

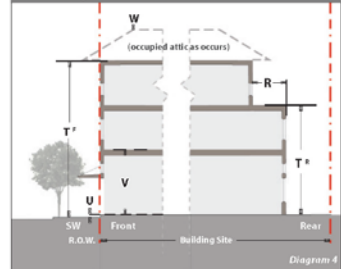


Diagram 4  
Building Site Boundary ---

**4.1** Buildings and additions shall comply with the requirements in Diagram 4. All numbers are stated as a range or maximum unless stated otherwise.

**4.2** Building height is measured vertically from average sidewalk grade along frontage to the top plate of the highest story.

**4.3** Roofs, chimneys, finials and portions of structures less than 200 square feet with no dimension exceeding 15 feet, are allowed up to 45 feet from the average grade along the building edge.

Building Type	T' (T <sup>n</sup> )	R	U	V (min)		W
				Upper Stbk	Finished Flr from SW	
House	26	2.5	n.a.	min 1.5	10	45
Villa	26	2.5	n.a.	min 1.5	10	45
Courtyard	30	2.5	n.a.	min 0.5	10	45
Rowhouse BF	30	3(1)	min 10	min 1.5	12	45
Flex Bldg Large	35 (24)	3(1)	min 25	min 0.5	14	45
Lined Bldg	35 (24)	3(1)	min 25	min 0.5	12	45

(1) See 5.10.160 for 3rd story facade requirements



# BUILDING STANDARDS

## Chapter 5.10 Building Standards

## Chapter 5.10 Building Standards

### 5.10.050 Requirements by Zone

In support of the intended physical environment for each zone, Table 5.10 identifies the allowed building types in each zone.

- Requirements for Buildings.** All buildings and their additions shall comply with the requirements of Table 5.10.
- Types.** The allowed building types in each zone are for the general purpose of supporting or generating the range of intended physical environments and land use activity.
- Building Size.** All buildings and their additions shall comply with the size and massing requirements of each building type. Each building site is allowed up to one building with accessory buildings as allowed by each building type.
- Stories and Height.** Building height is specified in Table 5.10 as the maximum stories and as feet to the top plate of the highest story on the building, not counting the roof in the overall height dimension.

Where partial numbers are shown for a building (e.g., "2.5"), this identifies that the building may only have two full floors with occupied space within the roof volume of the second story. From the street, such an arrangement is visible through dormers on the roof, expressing only two stories to the street.

- Multiple Building Types.** As allowed by Section C.1 of the zone "Building Site and Placement Standards," a site may utilize multiple building types subject to compliance with the applicable requirements and City review and approval.

TABLE 5.10 ALLOWED BUILDING TYPES BY ZONE



TYPES	DOWNTOWN (T5)		NEIGHBORHOOD CENTER (T4.5)		NEIGHBORHOOD GENERAL (T4)		NEIGHBORHOOD EDGE (T3)		RURAL GENERAL (T2.5)		RURAL EDGE (T-2)		TEHACHAPI BLVD (SD-2.1)	
	MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT	
BLOCK - FORM TYPES	MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT	
Lined Building	3/35(G)	Lined Building See 5.10.060 (T)												
Flex Building Large	3/35(G)	Flex Bldg-L See 5.10.070											3 / 35(G)	Flex Bldg-L See 5.10.070
Flex Building Small			2.5 / 26	Flex Bldg-S See 5.10.080					1.5 / 15	Flex Bldg-S (1A) See 5.10.080	1.5 / 15	Flex Bldg-S (1B) See 5.10.080	2 / 26	Flex Bldg-S See 5.10.080
Barn (B)									1.5 / 18	Barn See 5.10.090	1.5 / 26	Barn See 5.10.090		
Rowhouse 'BF'	3/30(G)	Rowhouse-BF See 5.10.100											2.5 / 30	Rowhouse BF See 5.10.100
HOUSE - FORM TYPES	MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT		MAX STORIES / FT	
Rowhouse 'HF'			2.5 / 26	Rowhouse-HF See 5.10.110	2 / 24	Rowhouse-HF See 5.10.110								
Courtyard Building	2.5 / 30	Courtyard See 5.10.120	2.5 / 26	Courtyard See 5.10.120	2 / 24	Courtyard See 5.10.120							2.5 / 30	Courtyard See 5.10.120
Bungalow Court			2.5 / 24	Bungalow Ct See 5.10.130	2 / 22	Bungalow Ct See 5.10.130								
Villa	2.5 / 26	Villa See 5.10.140 (T)	2.5 / 26	Villa See 5.10.140	2 / 22	Villa See 5.10.140							2.5 / 26	Villa See 5.10.140
Duplex - Quadplex			2.5 / 26	Duplex See 5.10.150	2 / 22	Duplex See 5.10.150	2 / 22	Duplex See 5.10.150					2.5 / 24	Duplex See 5.10.150
House	2.5 / 26	House See 5.10.160 (T)	2.5 / 26	House See 5.10.160	2 / 22	House See 5.10.160	2 / 22	House See 5.10.160						
Estate					2 / 24	Estate See 5.10.170	2.5 / 26	Estate See 5.10.170	2.5 / 26	Estate See 5.10.170	2.5 / 26	Estate See 5.10.170		

KEY TO NOTES FOR TABLE 5.10

SEE 5.10.090	Type allowed in zone, see reference for requirements
blank	Type not allowed in zone
2 / 26	Maximum stories and height in feet to top plate of highest story

2.5 Maximum of three stories with 3rd story as occupied space within the 2nd story roof volume

(1A) Only within 250 ft of the intersection of two 'Road' thoroughfare types (8.20.080)

(1B) Only within 100 ft of the intersection of two 'Road' thoroughfare types (8.20.080)

(G) 3-story facades require 1-story Gallery along at least 2/3 of facades within Facade Layer. At least 25 percent of 3rd story shall be setback 15 ft from Ground Floor facade.

(T) Type not allowed on north side of Tehachapi Boulevard

# BUILDING STANDARDS FLEX BUILDING

## Chapter 5.10 Building Standards

### 5.10.070 FLEX BUILDING 'LARGE' STANDARDS

#### A. Description and Intent

1. Description. A building designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for retail, service, office, and/or residential uses. Ground floor units are accessed directly from the street. Upper floor units may be directly accessed from the street through stairs that serve multiple units or through a street level lobby. The building may be configured for 'work-live' occupancy in which case, the primary use is the non-residential space on the ground floor and the secondary use is the upper story dwelling. Each non-residential space has its own entry from the sidewalk with the combination of work space and dwelling typically being owned or leased by the same person(s). Parking is located along the rear of side frontages or behind buildings.
2. Examples of Intended Physical Character. The following examples are illustrative of the range of physical character for the Flex Building 'Large' type in the zones allowed by this Code.



Above: Large Flex Building with parking in rear.



Above: Large Flex Building at corner designed with two distinct facades to fit in the pattern of individual buildings along the streetscape.



Above: Large Flex Building with decorative parapet providing visual interest and distinction to the building.



Above: Large Flex Building with tallest portion at corner and use of balconies to bring down the scale of the building into Tehachapi's small-town character.

## Chapter 5.10 Building Standards

### FLEX BUILDING 'LARGE' STANDARDS 5.10.070

#### B. Design Standards



Diagram FL.1

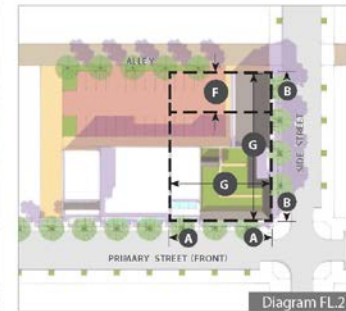


Diagram FL.2

Flex Building Large types are subject to the following as applicable.

	T5	SD2.1
<b>Building Site</b>		
A Width	100-200	200-400
B Depth	150-200 (min 80 north side of Tehachapi Blvd)	200-400
<b>Facade Location</b>		
C Front	0 or 10	10-30
D Street Side	0 or 10	10-30
E Side Yard	0 or 10	10-25
F Rear Yard Transition (setback to upper stories)	adjacent to T4 or T4.S; min 25	adjacent to T5; min 20
<b>Building Size</b>		
G Building Length	max 100 ft (FL)	max 150 ft (FL)

Individual volumes up to this size may abut if each is offset from the other by a 5 foot plane-break and an 8 foot height difference. Facades exceeding 50 feet shall have the appearance of multiple attached buildings. Facades shall be composed of increments of 50 ft or less. Increments shall be created through projecting or recessing wall surfaces, changes in roofline and/or placement of piers and pilasters.

Building entries shall be at grade along the adjacent sidewalk. Where ramps are required, their design shall be per the ADA requirements and the frontage requirements in Section C.3 of the zone standards.

Facades along frontage lines as defined by the zone shall apply frontage types per Section C.3 of the zone.

F/P Buildings longer than 90 feet shall include a forecourt per Table 5.20.080 or plaza per Table 8.10.100 along the primary frontage or at the primary street corner.

Along any frontage, the building shall include a decorative parapet and/or a pitched roof with a visible eave from the sidewalk.

3-story facades shall include a gallery along at least 2/3 of the facade.

At least 25 percent of 3rd-story facades shall be setback 15 feet from the ground floor facade.

Buildings on corner sites shall be designed with two facades of equal architectural expression.

PE Parking access driveways and spaces shall be located per Section C.2 of the zone standards.

When required by Section A.2d of the zone standards, open space may be at grade in a plaza or forecourt or in a roof garden.

Along primary and side streets, retail or office space rather than service rooms shall be oriented toward the street. On side streets where ground floor residential is allowed, first floor living areas rather than sleeping or service rooms shall be oriented toward the street.

# BUILDING STANDARDS COURTYARD BLDG

## Chapter 5.10 Building Standards

### 5.10.120 COURTYARD BUILDING STANDARDS

#### A. Description and Intent

1. **Description.** A building designed to give the appearance of a large house, comprised of attached units arranged to share one or more courtyards. Pedestrian access to the building's entrances is from the courtyard and/or fronting street(s). The courtyard is intended to be an outdoor room that can be seen from the adjacent public realm. Parking is located at the rear of the site and may occur along the street-access driveway. Courtyard buildings may accommodate non-residential uses in either a live-work configuration or as solely commercial/retail space facing the primary street as allowed by the zone.
2. **Examples of Intended Physical Character.** The following examples are illustrative of the range of physical character for the Courtyard Building type in the zones allowed by this Code.



Above: Courtyard Building with front yard facade designed to appear as a large single-family house. Entry to the courtyard is through the zaguan in center of photo.



Above: Courtyard building with stoop leading to central entry to courtyard through zaguan in center of photo. Street facing units are entered from the street and from the courtyard.



Above and right: Courtyards may be landscape or hardscape and feature outdoor furniture. Courtyards are shaped by ground floors with direct access and views of the courtyard.



## Chapter 5.10 Building Standards

### COURTYARD BUILDING STANDARDS 5.10.120

#### B. Design Standards



Diagram CY.1



Diagram CY.2

Courtyard types are subject to the following as applicable.

Building Site	T4	T4.5	T5	SD2.1
<b>A Width</b>	140-200	130-200	125-175	150-250
<b>B Depth</b>	150-225	150-225	150-200	190-200
<b>Facade Location</b>				
<b>C Front</b>	10-15	5-15	0 or 10	10-20
<b>D Street Side</b>	10-15	5-15	0 or 10	10-15
<b>E Side Yard</b>	15	10	0 or 10	10-15
<b>F Rear Yard Transition</b>	60-75	60-75	25-75	75-125
<b>Building Size</b>				
<b>G1 Building Length (max)</b>	100	100	125	125
<b>G2 Building Wings (max)</b>	20x30	20x30	40x40	40x40

Facades exceeding 60 feet shall be designed with a vertical setback from the base of the building to the roof line, at least 18" wide and 18" deep, giving the building an appearance of multiple attached buildings. Facades shall be composed of increments of 25 ft or less. Increments shall be created through projecting or recessing wall surfaces, changes in roofline and/or placement of piers and pilasters.

Facades along frontage lines as defined by the zone shall apply frontage types per Section C.3 of the zone.

Along any frontage, the building shall include a decorative parapet and/or a pitched roof with a visible eave from the sidewalk.

Buildings on corner sites shall be designed with two facades of equal architectural expression.

Building entries for non-residential units shall be at grade along the adjacent sidewalk. Building entries for dwellings shall be raised 1.5 ft from the adjacent sidewalk grade to provide some privacy for occupants. Units along side streets may have a second entry from the courtyard. Where ramps are required, their design shall be per the ADA requirements and the frontage requirements in Section C.3 of the zone.

PE Parking access driveways and spaces shall be located per Section C.2 of the zone standards.

Where ground floor residential is allowed, first floor living areas rather than sleeping or service rooms shall be oriented toward the street. Where the zone allows non-residential activity, retail or office space rather than service rooms shall be oriented toward the street.

CY One or more separated or interconnected courtyards of at least 25 by 30 feet and not exceeding 100 feet shall be provided.

Units along side streets may enclose private open space only through the Walled Yard type (5.20.110).

# FRONTAGE STANDARDS

5.10.050 Requirements by Zone

In support of the intent and intended physical environment for each zone, Table 5.20 identifies the allowed frontage types and requirements in each zone.

- Requirement for Frontage.** Section C.3 of the Zone Standards identifies the minimum amount of ground floor facade that must be located within the facade layer. As allowed by Table 5.20, each building site shall apply one or more frontage types within the facade layer for the minimum amount specified.
- Types.** The allowed frontage types in each zone are for the general purpose of supporting or generating streetscapes aimed at the range of intended physical environments.
- Multiple Types.** As identified in Table 5.20, a building site may utilize multiple frontage types subject to City review and approval.

TABLE 5.20 ALLOWED FRONTAGE TYPES BY ZONE



TYPES	DOWNTOWN (T5)		NEIGHBORHOOD CENTER (T4.5)	
	ALLOWED	SEE REF	ALLOWED	SEE REF
Gallery	Gallery	5.20.060	Gallery (3)	5.20.060
Shopfront	Shopfront	5.20.070	Shopfront (3)	5.20.070
Forecourt	Forecourt	5.20.080		
Parking Court	Parking Court (2)	5.20.090		
Terrace	Terrace	5.20.100		
Walled Yard	Walled Yard	5.20.110	Walled Yard	5.20.110
Stoop			Stoop	5.20.120
Porch			Porch	5.20.130
Front Yard			Front Yard	5.20.140
Common Yard				

ALLOWED FRONTAGE TYPES BY ZONE TABLE 5.20

NEIGHBORHOOD GENERAL (T4)		NEIGHBORHOOD EDGE (T3)		RURAL GENERAL (T2.5)		RURAL EDGE (T-2)		TEHACHAPI BLVD WEST (SD-2.1)	
ALLOWED	SEE REF	ALLOWED	SEE REF	ALLOWED	SEE REF	ALLOWED	SEE REF	ALLOWED	SEE REF
				Gallery (1)	5.20.060	Gallery (1)	5.20.060	Gallery (1A)	5.10.060
				Shopfront (1)	5.20.070	Shopfront (1)	5.20.070	Shopfront (1A)	5.10.070
								Forecourt	5.10.080
								Parking Court (2A)	5.10.090
								Terrace	5.10.100
Walled Yard	5.20.110							Walled Yard	5.10.110
Stoop	5.20.120							Stoop	5.20.120
Porch	5.20.130	Porch	5.20.130	Porch	5.20.130	Porch	5.20.130		
Front Yard	5.20.140	Front Yard	5.20.140	Front Yard	5.20.140	Front Yard	5.20.140	Front Yard	5.20.140
		Common Yard	5.20.150	Common Yard	5.20.150	Common Yard	5.20.150		

KEY TO NOTES FOR TABLE 5.20

SEE 5.20.090	Type allowed in zone, see reference for requirements
blank	Type not allowed in zone
(1)	Only on Flex Building "Small" at intersection of two "Road" thoroughfare types (8.20.080)
(1A)	Only on Tehachapi Blvd within 100 ft of street corner
(2)	Only on side streets
(2A)	Only on Tehachapi Blvd not within 150 ft of street corner
(3)	Only when across from or immediately adjacent to an allowed open space type

# FRONTAGE STANDARDS SHOPFRONT

## Chapter 5.20 Frontage Standards

### 5.20.070 SHOPFRONT STANDARDS

#### A. Description and Intent

1. Description. The shopfront is the frontage type for buildings with ground floor commercial/retail uses. Large openings are inserted along ground level facades and filled with transparent windows. Depending on the zone, most or all of the facade is located near or at the property line. The building entrance is at sidewalk grade and provides direct access to ground commercial/retail uses. The basic architectural elements comprising the shopfront are large windows, doors with glass, clerestory glass, and a solid base (bulkhead). Optional elements include awnings, cantilevered shed roof or canopy, signage, lighting, and cornices. Awnings, shed roofs, or canopies may encroach into the public right-of-way and cover the sidewalk within a few feet of the curb.

Landscaping may be provided in vine pockets or planter boxes at the building facade as allowed by the zone.

Signage may be located in a variety of places ranging from the storefront and wall to awnings. In addition, signs that project over the sidewalk as well as sidewalk signs occur as allowed by the zone.

2. Examples of Intended Physical Character. The following examples are illustrative of the range of physical character for the shopfront type in the zones allowed by this Code.



Above: Example of large windows able to display a wide variety of merchandise and to let natural light further into the store, office or restaurant.



Above: Example of increasing available window space by recessing the entry between flanking shopfronts while remaining visible and connected with the sidewalk.



Above: Shopfronts can elevate their display areas up to a certain vertical distance from the sidewalk grade (see 'B. Design Standards' for requirements).



Above: Shopfront windows nearest the grade of the sidewalk are larger than windows located higher on the facade.

## Chapter 5.20 Frontage Standards

### SHOPFRONT STANDARDS 5.20.070

#### B. Design Standards



Diagram SF.1

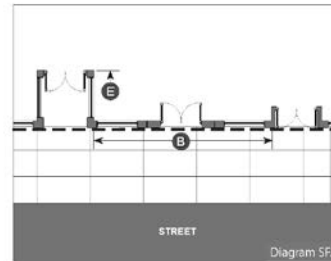


Diagram SF.2

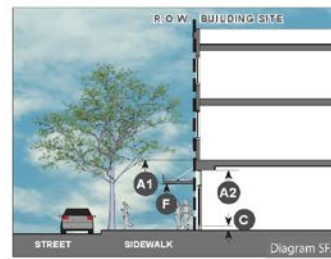


Diagram SF.3

Shopfront frontages are subject to the following as applicable.

	T02.5	T4.5	T5	SD2.1
A1 Height	min 12	12-14	12-16	12-16
A2 Height from sidewalk to top of openings	min 10	10-12	10-16	10-16
B Width (min)	12	15	20	20
Height of bulkhead.	24 in	8-30 in	8-42 in	8-42 in
C	Storefront bulkhead shall be of material similar or complementary to main materials of the building.			
The horizontal area of the facade that is between 2 feet and 12 feet from the sidewalk grade shall contain storefront glass as follows:				
Glass area as % of ground floor facade.	50-90%	70-80%	70-90%	70-90%
D	Storefront glass shall be clear without reflective glass frosting or dark tinting.			
Storefront windows may have clerestory windows (horizontal panels) between the storefront and second floor/top of single-story parapet. Glass in clerestory windows may be of a character to allow light, while moderating it such as stained glass, glass block, painted or frosted glass.				
Shopfront frontages shall be located within the facade layer per C3.2 of the zone standards.				
Storefront on secondary frontage	25	no max		
Depth of recessed entry	min 6'; 10' for up to 50% of facade			
E	The entry may be located anywhere within the shopfront.			
Walls without openings shall not exceed 5 linear feet on primary frontages and 25 linear feet on secondary frontages.				
Awnings and canopies shall provide at least 8 feet of vertical clearance along sidewalks.				
F	Awnings and canopies may encroach into the public right-of-way up to three feet from the adjacent curb face.			
The design of awnings and canopies shall be consistent with the design and style of the building.				

# FRONTAGE STANDARDS PORCH

## Chapter 5.20 Frontage Standards

### 5.20.130 PORCH TYPE STANDARDS

#### A. Description and Intent

1. **Description.** The porch frontage consists of a building set back from the frontage line with a porch attached to it within the setback area. The porch is a non-enclosed area that provides sufficient room for exterior types of furniture and pedestrian access to the building. Porches may occur in rear yards per the standards of this section.

Porches provide the necessary physical separation for the private lot from the public sidewalk, while maintaining visual connection between buildings and the public space of the street. This frontage may include balconies which extend into the front yard and side street yard as well as a low fence or wall at or near the frontage line(s).

Signage may be located on the wall, within a storefront or porch, projecting from the building, and within the front setback as allowed by the zone.

2. **Examples of Intended Physical Character.** The following examples are illustrative of the range of physical character for the porch type in the zones allowed by this Code.



Above: Example of a house-form building with a porch frontage converted to a restaurant.



Above: A house with a porch frontage that has a moderate distance between the porch and the sidewalk (frontage line).



Above: Example of a house with a porch frontage converted to a restaurant along with the front yard converted to a dining area.

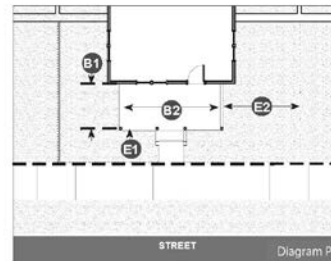


Above: A house with a porch frontage that has a large distance between the porch and the sidewalk (frontage line).

## Chapter 5.20 Frontage Standards

### PORCH TYPE STANDARDS 5.20.130

#### B. Design Standards



Porch frontages are subject to the following as applicable.

	T2.5	T3	T4	T4.5	
A	Height of finished floor of porch within 15 ft of sw	no reqmt	1.5-3	1.5-3	1.5-3
	Height of finished floor of porch beyond 15 ft of sw	min 1.5	1.5-6	1.5-6	1.5-6
B1	Depth of porch (face of building to inside face of porch columns)	min 10	min 8	min 8	min 10
B2	Width of porch (face of building to inside face of porch columns)	no reqmt	min 10	min 10	min 12
C	Porch height btwn porch surface and top of porch columns	min 8	min 8	8-12	8-14
D	Height of wall or fence	no min	max 3.5	max 3.5	max 3.5
	Wall or fence along edge of sw	na.	1 to 3	1 to 3	1 to 4
	Width of gate along edge of sw	min 3	min 3	3 to 6	4 to 8
E	Location of Porch (front)	per C.3.3 of zone standards			
	Location of Porch (side street and side yard)	per C.3.3 of zone standards			
	Location of Porch (rear yard)	per C.3.3 of zone standards			
	The porch surface may be enclosed by a low wall or fence per all applicable requirements and if the materials and design are compatible with the architectural style of the building.				
	Porch openings shall only be enclosed by insect screens that do not reduce visibility from the sidewalk, as determined by the City. The insect screens shall be mounted to be recessed at least 2 inches from the outer face of the porch columns.				
	Signage is allowed on the porch or in the front yard per the signage requirements for the zone in Chapter 5.30.				
	The porch, stairs, ramps and all porch materials shall be designed to be compatible with the architectural style, materials, finishes and colors of the building.				

# OPEN SPACE STANDARDS

## Chapter 8.10 Standards Specific to Open Spaces

### 8.10.050 Requirements by Zone

In support of the intent and intended physical environment for each zone, Table 8.20 identifies the allowed open space types in each zone.

- Requirement for Open Space.** When required by Section A.2d of the zone standards, open space shall be provided per the requirements of Table 8.10.
- Types.** The allowed types in each zone are for the general purpose of supporting or generating open space for the range of intended physical environments. All open space shall be provided as one or more of the allowed types in the zone.
- Multiple Types.** As allowed by Section 8.10, a site or building may utilize multiple open space types subject to City review and approval.

TABLE 8.10 ALLOWED OPEN SPACE TYPES



Nature Agriculture Green

## Chapter 8.10 Standards Specific to Open Spaces

ALLOWED OPEN SPACE TYPES TABLE 8.10



Plaza Square Passage Sportsfield Roof Garden

TYPES	DOWNTOWN (T5)		NEIGHBORHOOD CENTER (T4.5)		NEIGHBORHOOD GENERAL (T4)		NEIGHBORHOOD EDGE (T3)		RURAL GENERAL (T2.5)		RURAL EDGE (T-2)		TEHACHAPI BLVD WEST (SD-7.1)	
	ALLOWED	SEE REF	ALLOWED	SEE REF	ALLOWED	SEE REF	ALLOWED	SEE REF	ALLOWED	SEE REF	ALLOWED	SEE REF	ALLOWED	SEE REF
Nature					Nature	8.10.060	Nature	8.10.060	Nature	8.10.060	Nature	8.10.060		
Agriculture	Agriculture	8.10.070	Agriculture	8.10.070	Agriculture	8.10.070	Agriculture	8.10.070	Agriculture	8.10.070	Agriculture	8.10.070	Agriculture	8.10.070
Greenway			Greenway	8.10.080	Greenway	8.10.080	Greenway	8.10.080	Greenway	8.10.080	Greenway	8.10.080	Greenway	8.10.080
Green			Green	8.10.090	Green	8.10.090	Green	8.10.090	Green	8.10.090			Green	8.10.090
Plaza	Plaza	8.10.100	Plaza	8.10.100									Plaza	8.10.100
Square	Square	8.10.110	Square	8.10.110	Square	8.10.110							Square	8.10.110
Passage	Passage	8.10.120	Passage	8.10.120	Passage	8.10.120							Passage	8.10.120
Playground	Playground	8.10.130	Playground	8.10.130	Playground	8.10.130							Playground	8.10.130
Sportsfield					Sportsfield	8.10.140	Sportsfield	8.10.140						
Roof Garden	Roof Garden	8.10.150	Roof Garden	8.10.150	Roof Garden	8.10.150	Roof Garden	8.10.150	Roof Garden	8.10.150			Roof Garden	8.10.150

**KEY TO NOTES FOR TABLE 8.10**

SEE 8.10.090 Type allowed in zone, see reference for requirements  
 blank Type not allowed in zone

# OPEN SPACE STANDARDS SQUARES AND GREENWAYS

## Chapter 8.10 Standards Specific to Open Spaces

**SQUARE STANDARDS TABLE 8.10.110**

### A. Description and Intent

1. Description. A formal gathering place within or at the edges of neighborhoods, smaller than a Green that provides open space for unstructured recreational or civic activities. The square is the neighborhood version of the Plaza as it provides a gathering place for a community focus at the neighborhood scale. Squares are typical with a neighborhood center either within or at the neighborhood's edges.

2. Examples of Intended Physical Character. The following examples are illustrative of the range of physical character for the Square type in the zones allowed by this code.



Above: Example of a square with a large landscape area flexible for a variety of events and a substantial perimeter of hardscape for vehicular access.



Above: Example of a larger square with a large landscape area accented by formal plantings and an open shelter along the perimeter.

### B. Design Standards

Squares are subject to the following as applicable.			
	T4	T4.5	SD2.1
<b>Size and Location</b>			
Width along street (min)	100	75	100
Width (min)	avg 75	avg 50	avg 75
Area (min)	3,500 sq ft	3,000 sq ft	3,500 sq ft
<b>Physical Character</b>			
Overall: Formal			
Shape: Regular			
Ground Surface: Primarily turf with formal planting and trees; combination pathway / service drive along edges of square allowed			
Trees and plants: Native			
Buildings: Few, limited to open shelters			
Lighting: Decorative poles along sidewalk, within the plaza; Lighting mounted on adjacent buildings			
Parking: none allowed off-street; on-street allowed			
<b>Range of Allowed/Typical Uses (per zone)</b>			
Passive/Active			
Civic activities			
<b>Stormwater Management Techniques</b>			
Natural percolation, french drains, swales			

## Chapter 8.10 Standards Specific to Open Spaces

**TABLE 8.10.080 GREENWAY STANDARDS**

### A. Description and Intent

1. Description. Large community gathering places that provide natural, open space for passive recreation, with areas available for playgrounds and bicycle/pedestrian paths. Parks and greenways have their own character as they can span the entire length of a neighborhood or of multiple neighborhoods.

2. Examples of Intended Physical Character. The following examples are illustrative of the range of physical character for the Greenway type in the allowed zones.



Above: Example of a greenway that spans several neighborhoods and includes a playground.



Above: Example of a path within a greenway.

### B. Design Standards

Greenways are subject to the following as applicable.			
	T2, T2.5	T3, T4	T4.5, SD2.1
<b>Size and Location</b>			
Width along street (min)	100	75	50
Width (min)	avg 75	avg 50	avg 25
Acres (min)	0.30	0.30	0.25
<b>Physical Character</b>			
Overall: Natural or formal			
Shape: Regular or Irregular			
Ground Surface: Primarily natural landscape, meadows, woodlands			
Trees and plants: Native			
Buildings: Few, limited to open shelters			
Lighting: Decorative poles with lighting along pathways			
Parking: none required; where provided shall not exceed 25 spaces and shall be at least 150 feet from nearest parking area			
<b>Range of Allowed Uses (per zone standards)</b>			
Passive/Active			
Playgrounds located to complement natural park setting			
<b>Stormwater Management Techniques</b>			
Natural percolation, dry wells, french drains, swales			



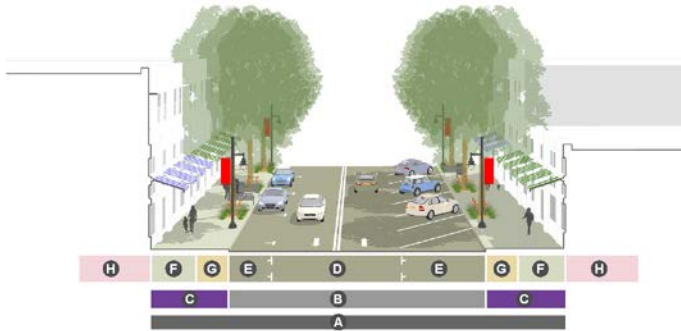
# STREET STANDARDS

## Chapter 8.20 Street Type Standards

### COMMERCIAL STREET STANDARDS 8.20.060

#### Type 3. Commercial Street

##### A. Typical Commercial Street - 76'-90' R.O.W



#### A. Description and Intent

A Commercial thoroughfare designed for low to moderate capacity (up to 10,000 VTH), and low speeds (15-25 mph) providing access and convenient parking for urban centers.

This type could correspond with any number of streets in the town center.



#### 1. Public Right-of-Way (R.O.W)

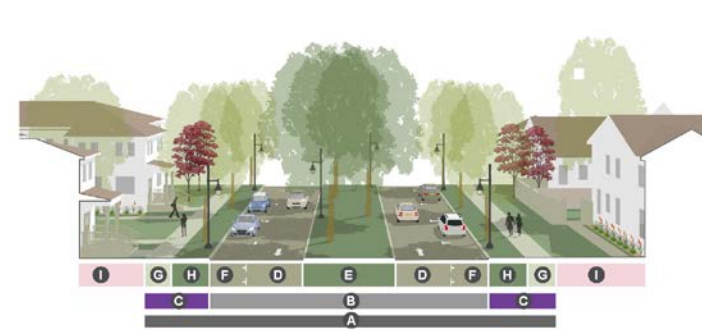
A	Right-of-Way	76'-90'
B	Curb-to-Curb	48'-60'
C	Public Frontage	14'-16'; see Section 8.20.110
<b>2. Curb-to-Curb</b>		
D	Vehicular Lanes	2 (1 each way); 10'-12' lane width
	Median	none
	Bicycle Facilities	where occurs; see Section 8.20.110
	Bicycle Buffer	where occurs; see Section 8.20.110
E	Parking Facilities	Parallel, Diagonal, or Mixed; 7'-18'
<b>3. Public Frontage</b>		
F	Sidewalk	12'-16'
G	Planter(s)	Tree wells, 5'x5' minimum
	Landscaping	See Section 4.40.040 (Approved Plant List)
	Lighting	See Section 4.40.090
	Drainage Type(s)	Curb & gutter
<b>4. Private Frontage</b>		
H	Frontage Type(s)	See Section 5.20.050

## Chapter 8.20 Street Type Standards

### 8.20.050 AVENUE STANDARDS

#### Type 2. Avenue

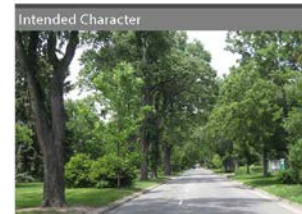
##### A. Typical Avenue - 80'-100' R.O.W



#### A. Description and Intent

A highly landscaped thoroughfare designed for relatively high vehicular capacities (up to 15,000 VTH), and low to moderate speeds (25-35 mph) that acts as a connector between urban centers.

[1] If vehicular lane is directly adjacent sidewalk, 12' minimum lane width is required.



#### 1. Public Right-of-Way (R.O.W)

A	Right-of-Way	80'-100'
B	Curb-to-Curb	50'-60'
C	Public Frontage	10'-20'; see Section 8.20.110
<b>2. Curb-to-Curb</b>		
D	Vehicular Lanes	2 (1 each way); 10'-12' lane width [1]
E	Median	Planted; 10'-20'
	Bicycle Facilities	where occurs; see Section 8.20.110
	Bicycle Buffer	where occurs; see Section 8.20.110
F	Parking Facilities	Parallel, both sides, 7'-8'
<b>3. Public Frontage</b>		
G	Sidewalk	6'-8'
H	Planter(s)	Parkway; 6'-8'; wider than sidewalk
	Landscaping	See Section 4.40.040 (Approved Plant List)
	Lighting	See Section 4.40.090
	Drainage Type(s)	Curb & gutter
<b>4. Private Frontage</b>		
I	Frontage Type(s)	See Section 5.20.050

**THANK YOU**