



# DOWNTOWN FORM-BASED CODE

These documents are provided for theoretical exercise only.

SEPTEMBER 2011

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## C. Administrative Adjustment Standards

The Director is authorized to approve Administrative Adjustment applications in strict conformance with the following standards only:

### 1. Height

- a. Minimum and maximum height - up to five percent (5%) for any cumulative increase or decrease in building height.
- b. STREET WALL/fence requirements – up to ten percent (10%).
- c. Finished floor elevation – up to five percent (5%).

### 2. Siting

- a. REQUIRED BUILDING LINE – move forward up to six (6) inches.
- b. REQUIRED BUILDING LINE minimum percentage built-to – reduction of up to five percent (5%) of required length.
- c. PARKING SETBACK LINE – move forward up to six (6) inches.
- d. Mezzanine floor area – up to ten percent (10%) additional area.
- e. STREET WALL requirements – up to ten percent (10%) of the height/FENESTRATION/access gate requirements.
- f. Entrances (maximum average spacing) – up to ten percent (10%) increase in spacing.

### 3. Elements

- a. FENESTRATION (minimum and maximum percent) – up to five percent (5%).
- b. Elements (minimum and maximum projections) – up to five percent (5%).

### 4. Architectural Standards

- a. Primary and accent materials – up to ten percent (10%).
- b. Window and pane dimensions – up to ten percent (10%).
- c. SHOPFRONT entry geometry – up to ten percent (10%).

### 5. Streets, Blocks and Alleys

- a. Street center lines may be moved up to 50 feet in either direction, so long as:
  - (i) the street connectivity is maintained (no cul-de-sacs);
  - (ii) no street intersection occurs within 125 feet of another street intersection (centerline to centerline), or within the FUNCTIONAL AREA OF AN INTERSECTION, and 175 feet of another street intersection on Metcalf Avenue and 75th Street (centerline to centerline); and
  - (iii) the BLOCK configuration meets the standards defined in Section 301.D. Streets, Blocks & Alleys.

## D. Administrative Adjustment of Unlisted Standards

Any request for relief from a required FBC standard other than those listed above shall be made through the deviation process set forth in Section 208. Deviations.

# Part 4. Building Envelope Standards

## 401. Intent

- A. The goal of the BUILDING ENVELOPE STANDARDS (BES) is the creation of a vital and coherent public realm through the creation of good STREET-SPACE. The intent of these form standards is to shape the STREET-SPACE—the specific physical and functional character—of the Downtown Form District. The form and function controls on building frontages work together to frame the STREET-SPACE while allowing the buildings greater latitude behind their FACADES. The BUILDING ENVELOPE STANDARDS aim for the minimum level of control necessary to meet this goal.
- B. The BES set the basic parameters governing building construction, including the building envelope (in three dimensions) and certain required or permitted functional elements, such as FENESTRATION (windows and doors), STOOPS, BALCONIES, FRONT PORCHES, and STREET WALLS.
- C. The BES establish the rules for development and redevelopment on private lots, unless otherwise indicated on the REGULATING PLAN.
- D. The REGULATING PLAN identifies the BUILDING ENVELOPE STANDARD for all private building sites within the Downtown Form District.

## 402. General Provisions

The following apply to all BES, unless expressly stated otherwise within an individual BES or otherwise designated on the REGULATING PLAN.

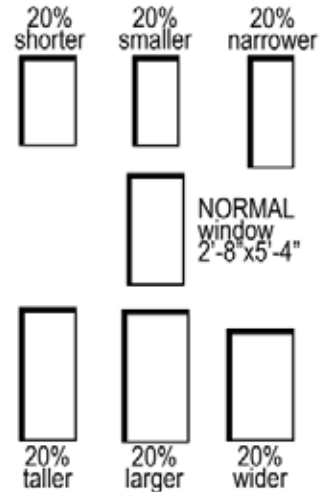
### A. Transitions

- 1. When the BES designation shown on the REGULATING PLAN changes along a property's REQUIRED BUILDING LINE (RBL), that property owner has the option, for his property's STREET FRONTAGE only, of applying either BES for a maximum additional distance of 50 feet, in either direction along that RBL.
- 2. Existing structures located on a lot with more than one BUILDING ENVELOPE STANDARD across the REQUIRED BUILDING LINE may use the Building Function for either BUILDING ENVELOPE STANDARD designated on the REGULATING PLAN for the existing structure only.

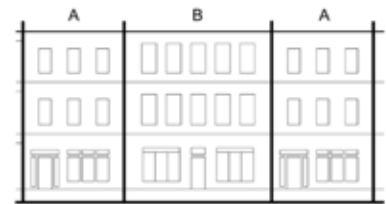
### B. Façade Composition

- 1. For each BLOCK FACE, FAÇADES along the RBL shall present a COMPLETE AND DISCRETE vertical FAÇADE COMPOSITION (i.e. architectural FAÇADE articulation to maintain and protect human-scale for the STREET-SPACE) at an average STREET FRONTAGE length of no greater than 60 feet for General Storefront frontage sites; 75 feet for General Urban and Townhouse/Small Apartment, Workshop, and Detached frontages.

2. Each FAÇADE COMPOSITION shall include a functioning street entry door. Individual infill projects on lots with STREET FRONTAGE of less than 100 feet on a BLOCK FACE are exempted from the overall FAÇADE COMPOSITION requirement for that BLOCK FACE, but shall still include a functioning street entry. This requirement may be satisfied for large footprint uses, such as large groceries and department stores, through the use of liner shops.
3. "FAÇADE COMPOSITION" is the arrangement and proportion of FACADE materials and elements (windows, doors, columns, pilasters, bays). "COMPLETE AND DISCRETE" is much like a new FAÇADE for a new building. To achieve the FACADE COMPOSITION requirements above, within a STREET FRONTAGE requires, at a minimum, item a. below and two additional items:
  - a. Clearly different GROUND STORY FAÇADE COMPOSITION (both framing materials and FENESTRATION proportions) from one bay to the next.
  - b. FENESTRATION proportions (minimum difference 20% in height or width or height:width ratio).
  - c. FAÇADE COMPOSITION (clearly different 'bay' rhythm, e.g. 'ABA' – 'ABBA' – 'BAAB' – 'ABCBA').
  - d. Wall Material (wall material change – color changes insufficient).
  - e. Change in FENESTRATION percentage (minimum difference 12%; ground floor FAÇADES are not included).



402.B.3.b Illustrative intent



402.B.3.c Illustrative intent

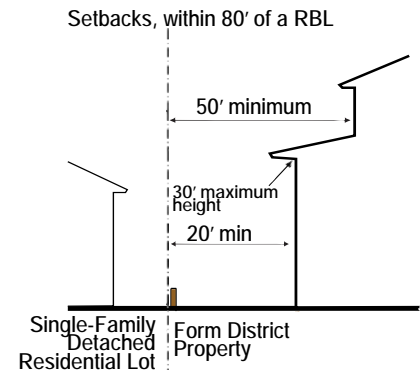
### C. Building Size

The maximum footprint for a building is 25,000 gross square feet; beyond that limit a deviation is required (see Part 2. Administration, Application Process & Appeals). This shall not limit parking structures built according to this Code.

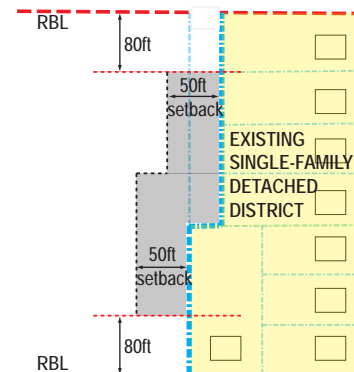
### D. Neighborhood Manners

For any BES frontage except Detached and Townhouse, the following rules apply:

1. Where a site is adjacent to a single-family detached residential lot:
  - a. within 50 feet of the lot line, and within 80 feet of any RBL, any structures shall have a maximum height of 30 feet and there shall be a 20 foot setback. This requirement supersedes the minimum STORY height requirement.
  - b. farther than 80 feet from any RBL, there shall be a 50 foot setback from the lot line for all structures.
2. Where a site abuts a single-family residential property, a GARDEN WALL/ STREET WALL, 4 to 6 feet in height, shall be constructed within 1 foot of the COMMON LOT LINE OR ALLEY.



402.D.1.a Illustrative intent



402.D.1.b Illustrative intent

## E. Height

1. The height of all buildings is measured in STORIES, with an ultimate limit in feet, measured from the top of the wall plate to the fronting sidewalk elevation, unless otherwise designated herein.
2. An ATTIC STORY is not included in the height measurement.
3. If an individual STORY exceeds the maximum floor-to-floor height, it shall be counted against another STORY, and no individual building height may exceed the BES prescribed ultimate height. See DORMERS and ENGLISH BASEMENT for additional standards.
4. Any portion of a parking structure within 30 feet of a building constructed per this Code and after approval of the REGULATING PLAN shall not exceed that building's primary ridge or PARAPET HEIGHT.
5. MEZZANINES that have a floor area greater than 1/3<sup>rd</sup> of the floor area of the STORY in which they are located shall count as an additional full STORY in the STORY height measurement. MEZZANINES shall be set back from the RBL at least 20 feet and may be in the form of a platform, podium, or wide balcony. Its uses shall be limited to a continuation of the GROUND STORY uses.
6. The prescribed minimum STORY clear-height shall be met by at least 80% of the specified STORY area.
7. The GROUND STORY finished floor elevation requirements shall be measured within 30 feet of the/any RBL (see Section 403. Ground Story Height: Commerce Uses.1).

## F. Siting

1. The building FAÇADE shall be built-to the RBL within 30 feet of a BLOCK CORNER, unless otherwise specified in the BES.
2. A STREET WALL shall be required along any RBL frontage that is not otherwise occupied by a building. The STREET WALL shall be located not more than 12 inches behind the RBL.
3. The RBL, designated on the REGULATING PLAN as an absolute line, incorporates an offset area (or depth) of 24 inches beyond that line (into the BUILDABLE AREA) allowing for jogs, FAÇADE articulation, etc. unless otherwise designated herein. Therefore, where the FAÇADE is placed within that 24 inch zone, it is considered to be "built-to" the RBL. See SHOPFRONT for additional allowances.
4. Buildings may only occupy that portion of the lot specified as the BUILDABLE AREA—the area behind the RBL as designated by the BES.
5. No part of any building may be located outside of the BUILDABLE AREA except overhanging eaves, awnings, STOREFRONTS, BAY WINDOWS, STOOPS, steps, handicapped ramps approved by the Director, or BALCONIES.

6. No part of any building may be located outside of any designated LOT BUILDING LIMIT except steps, overhanging eaves, or awnings.
7. There is no required setback from ALLEYS (or COMMON DRIVES) except as otherwise indicated on the BES. On lots without ALLEY access, there shall be a minimum 25 foot setback from the rear lot line.
8. There are no side lot setbacks, except as specified in Section 402.D. Neighborhood Manners or in the BES.
9. The PARKING SETBACK LINE is generally 30 feet behind the RBL and extends, vertically from the first floor level, as a plane unless otherwise indicated on the REGULATING PLAN or in the BES. Vehicle parking shall be located behind the PARKING SETBACK LINE, except where parking is provided below grade, on-street, or otherwise indicated on the REGULATING PLAN.
10. CORNER LOTS and through lots shall satisfy the build-to requirements for their full/all STREET FRONTAGES (RBL), unless otherwise specified in this Code.

## G. Garage and Parking

Driveways shall be located at least 125 feet away from any BLOCK CORNER or another garage entry on the same BLOCK FACE. This distance shall be increased to 175 feet on Metcalf Avenue and 75th Street. No driveway shall be located within the FUNCTIONAL AREA OF AN INTERSECTION. These requirements are not applicable along ALLEYS or COMMON DRIVES.

## H. Elements

1. FENESTRATION is measured as a percentage of the FAÇADE between floor levels. FENESTRATION shall be distributed such that no 30 foot section of a FACADE violates the BES percentage parameters.
2. No window may face or direct views toward a COMMON LOT LINE within 20 feet unless:
  - a. That view is contained within the lot (e.g. by a PRIVACY FENCE or GARDEN WALL), or
  - b. The sill is at least 6 feet above its finished floor level.
3. BALCONIES and STOOPS shall not project within 5 feet of a COMMON LOT LINE.
  - a. Balconies, where specified in the BUILDING ENVELOPE STANDARDS, must be enclosed by balustrades (railings) and shall not be otherwise enclosed, above a height of 42 inches, except with insect screening and/or columns/posts supporting a roof or connecting with another balcony above.
4. No part of any building except overhanging eaves, awnings, BALCONIES, BAY WINDOWS, STOOPS, and SHOPFRONTS as specified by the Code may project beyond the RBL. Additionally, steps are permitted within the DOORYARD area.



5. At least one functioning entry door shall be provided along each GROUND STORY FAÇADE at intervals not greater than 75 feet.
6. PRIVACY FENCES may be constructed along that portion of a COMMON LOT LINE and of ALLEY (or COMMON DRIVE) not otherwise occupied by a building.
7. On the RBL/FAÇADE side of the roof-pitch ATTIC STORIES may have windows only via DORMERS and windows in gable-ends (block interior elevations are not so restricted).
8. BAY WINDOWS shall have a minimum interior clear width at the main wall of 4 feet. BAY WINDOWS shall not project more than 42 inches beyond the REQUIRED BUILDING LINE; and walls and windows shall be between 90 degrees (perpendicular) and 0 degrees (parallel) relative to the primary building wall from which they project.
9. COVERED SIDEWALKS shall have a minimum clear height of 13 feet (signage or lighting may encroach) and a minimum clear width (from FAÇADE OR REQUIRED BUILDING LINE) to inside column face of 10 feet. The area within a COVERED SIDEWALK shall include a CLEAR WALKWAY.

## **I. Civic Use Buildings**

When designated on the REGULATING PLAN, CIVIC USE BUILDINGS are exempt from the BES and Architectural Standards, excepting any provisions that concern adjacent single-family detached districts.

## **J. General Storefront Frontages**

Where designated on the REGULATING PLAN, these frontages shall use the General Urban Frontage BES, excepting that their GROUND STORY configuration shall be for COMMERCE - that of a SHOPFRONT. (See Section 606.D.3. Shopfront Windows for specific architectural requirements.) Some use differences may also apply (See Section 801. Building Functions. General Provisions for specific requirements).

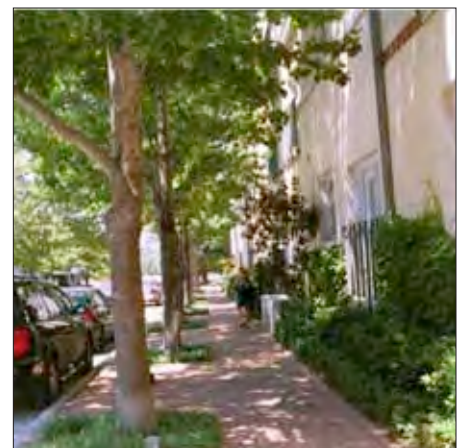
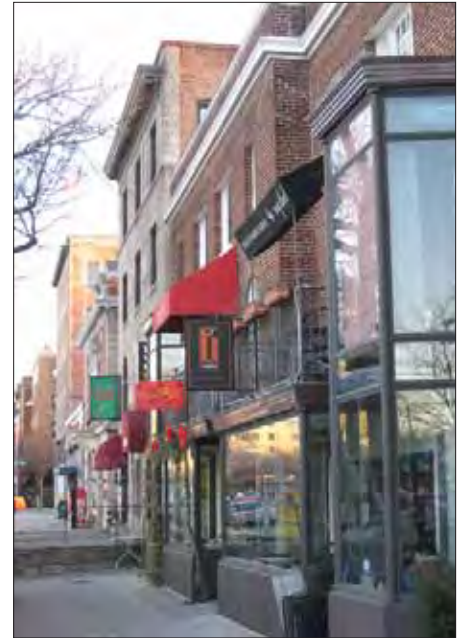
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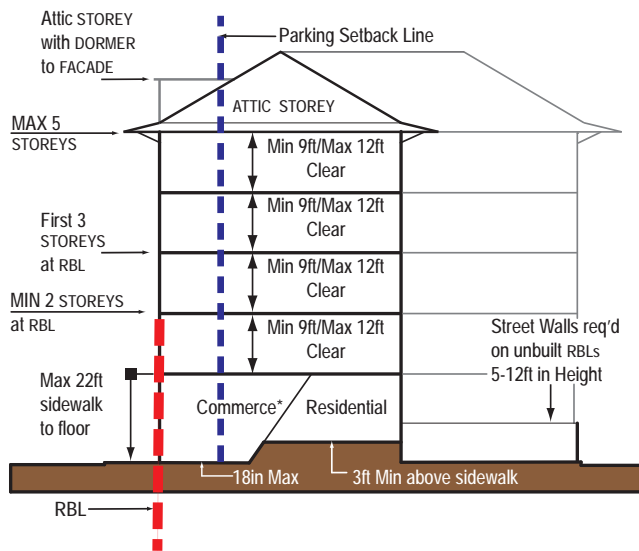
## 403. General Urban Frontage

### ILLUSTRATIONS AND INTENT

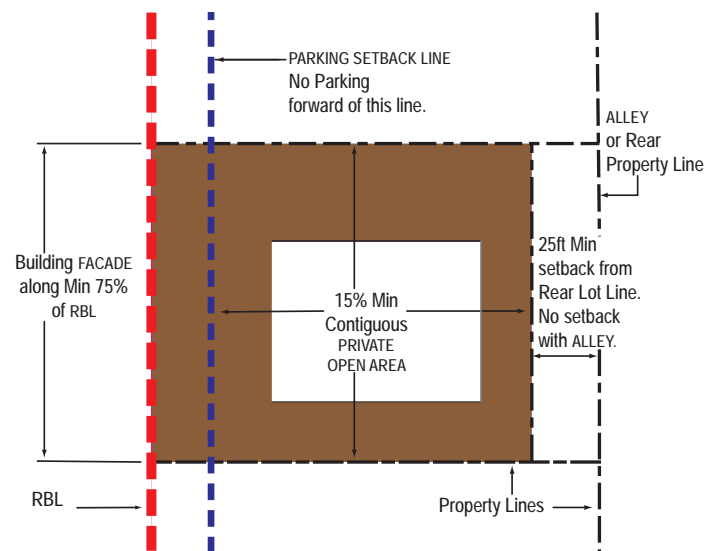
*Note: These are provided as illustrations of intent. The illustrations and statements on this page are advisory only and do not have the power of law. Refer to the standards on the following pages for the specific prescriptions and restrictions of the Building Envelope Standard.*

This is the basic urban STREET FRONTAGE, once common across the United States. The uses range from commercial to residential, retail to municipal— and combinations of all of the above. The primary form is that of a multi-story building placed directly at the sidewalk with windows across the FACADE. There could be several buildings lined up shoulder to shoulder, filling out a BLOCK, or on smaller BLOCKS, a single building might fill the BLOCK face.





**HEIGHT**



**SITING**

**Building Height**

The building shall be at least 2 STOREYS in height, but no greater than 5 STOREYS and 79 feet in height, unless otherwise designated on the REGULATING PLAN.

**Ground Story Height: Commerce Uses**

1. The average GROUND STORY finished floor elevation within 30 feet of the RBL shall be:
  - a. not lower than the fronting exterior sidewalk elevation.
  - b. not higher than an average finished floor elevation of 18 inches above the sidewalk.
2. See Commerce Frontage Special Conditions box below Use.
3. The GROUND STORY shall have at least 15 feet of clear interior height (floor to ceiling) contiguous to the RBL frontage for a minimum depth of 20 feet.
4. The maximum GROUND STORY height is 22 feet, measured from the sidewalk to the second STORY floor.

**Ground Story Height: Residential Units**

1. The average finished floor elevation shall be no less than 3 feet above the exterior sidewalk elevation at the RBL.
2. The GROUND STORY shall have an interior clear height (floor to ceiling) of at least 9 feet and a maximum sidewalk to second STORY floor height of 22 feet.

**Upper Story Height**

1. The maximum clear height (floor to ceiling) for STOREYS other than the GROUND STORY is 12 feet.
2. At least 80% of each upper STORY shall have an interior clear height (floor to ceiling) of at least 9 feet.

**Street Wall Height**

A STREET WALL not less than 5 feet in height or greater than 8 feet in height shall be required along any RBL frontage that is not otherwise occupied by a building on the lot.

**Façade**

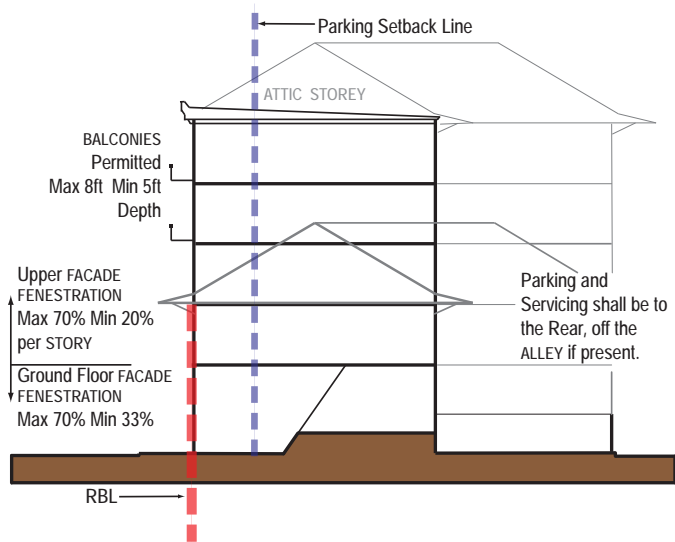
1. On each lot the building FAÇADE shall be built-to the REQUIRED BUILDING LINE for at least 75% of the RBL length.
2. Within 8 feet of the BLOCK CORNER, the GROUND STORY FAÇADE may be pulled away to form a corner entry.

**Buildable Area**

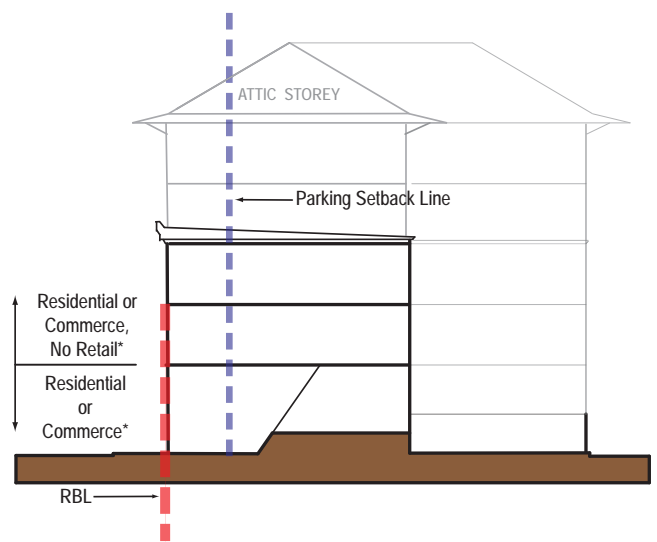
A contiguous PRIVATE OPEN AREA equal to at least 15% of the total BUILDABLE AREA shall be preserved on every lot. Up to 33% of the required open area may be satisfied through the BALCONIES of individual units. Such contiguous PRIVATE OPEN AREA may be located anywhere behind the PARKING SETBACK LINE and not including any side or rear setbacks, at or above grade.

**Garage and Parking**

Openings in any RBL for parking garage entries shall have a maximum clear height no greater than 16 feet and a clear width no greater than 22 feet.



**ELEMENTS**



**USE**

**Fenestration**

1. Blank lengths of wall exceeding 20 linear feet are prohibited on all REQUIRED BUILDING LINES (RBL).
2. GROUND STORY FENESTRATION shall comprise between 33% and 70% of the FAÇADE. Where designated as General Storefront the GROUND STORY FENESTRATION shall comprise between 50% and 90% of the FAÇADE.
3. Upper STORY FENESTRATION shall comprise between 20% and 70% of the FAÇADE area per STORY.
4. Retail uses shall use SHOPFRONT FENESTRATION standards.

**Building Projections**

1. Awnings shall project:
  - a. a minimum of 5 feet from the FAÇADE.
  - b. a minimum of 4 feet back from any STREET TREE or streetlight center-line alignment.
2. Awnings that project over the sidewalk portion of a STREET-SPACE shall maintain a clear height of at least 10 feet.
3. Awnings may have supporting posts at their outer edge provided that they:
  - a. Have a minimum of 8 feet clear width between the FAÇADE and the support posts or columns of the awnings, and
  - b. Have between 18 and 24 inches between the support posts or columns of the awnings and the back of curb, and
  - c. Provide a continuous walking path at least 5 feet wide running adjacent and parallel to the awning columns/ posts.

**Street Walls**

One access gate no wider than 22 feet and one pedestrian entry gate no wider than 5 feet shall be permitted within any required STREET WALL.

**Ground Story**

The GROUND STORY may only house COMMERCE or RESIDENTIAL uses. See height specifications above for specific requirements unique to each use.

**Upper Stories**

1. The upper STORIES may only house RESIDENTIAL or COMMERCE USES.
2. Refer to Section 804.E. Restaurant/Bar, Retail Sales for specific standards related to restaurant or retail sales uses in upper STORIES.
3. No COMMERCE USE is permitted above a RESIDENTIAL USE.
4. Additional habitable space is permitted within the roof where the roof is configured as an ATTIC STORY.

**Commerce Frontage Special Conditions  
General Storefront Frontages**

Where designated on the REGULATING PLAN as GENERAL STOREFRONT these frontages shall use this General Urban BES standard, excepting that the GROUND STORY configuration shall be for COMMERCE - that of a SHOPFRONT. (See Section 606.D.3. Shopfront Windows for specific requirements.)

**Steep Slope Exceptions:** Subject to the Director’s approval, for approved grocery operations, where the average slope across a STREET FRONTAGE for a given BLOCK FACE is greater than or equal to 5%, the GROUND STORY finished floor elevation requirement may be measured across a frontage width increment of 120 feet to a maximum 27 inches (average) above the fronting sidewalk.

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## 404. Townhouse/Small Apartment Frontage

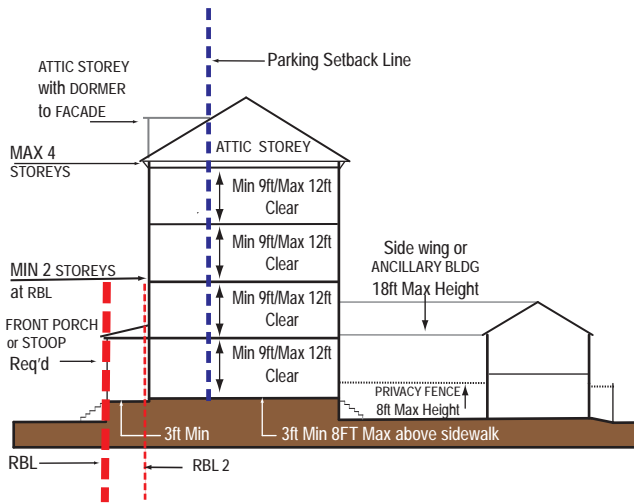
### ILLUSTRATIONS AND INTENT

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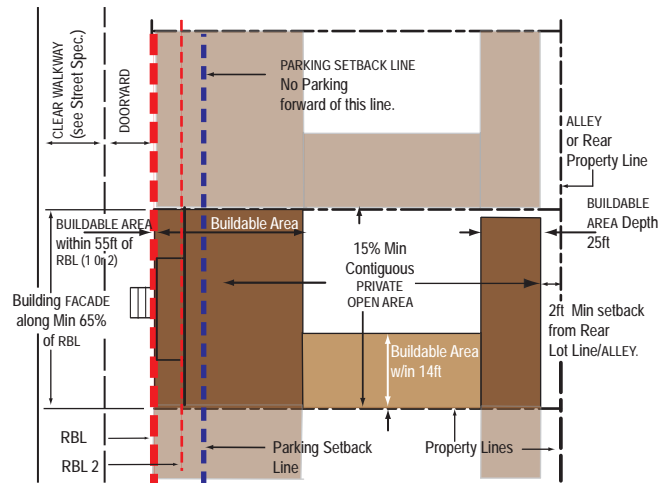
The townhouse/small apartment BUILDING ENVELOPE STANDARD is of moderate intensity, often created by a series of smaller attached structures, single-family residential, stacked flats, service commercial, or LIVE-WORK arrangements. This standard has regular STREET-SPACE entrances, as frequently as 18 feet. The character and intensity of this frontage varies with the siting/location of the REQUIRED BUILDING LINE—the buildings may be placed up to the sidewalk with STOOPS (at the RBL), or further back with FRONT PORCHES and/or small DOORYARD gardens (at the RBL2). Similarly, the TREE LAWNS may be found uncovered and continuous or partially covered in the STREET-SPACE, depending on the street intensity.

Similar to the scale of the townhouse and row house, a small apartment can also be used to transition the urban form and intensity to abutting single-family neighborhoods.





**HEIGHT**



**SITING**

**Building Height**

1. Each building shall be at least 2 STOREYS in height, but no greater than 4 STOREYS and 58 feet in height.
2. A SIDEWING or ancillary structure shall be no higher than 18 feet in height.

**Ground Story Height**

1. The average finished floor elevation shall be no less than 3 feet and no more than 8 feet above the exterior sidewalk elevation at the REQUIRED BUILDING LINE (RBL).
2. At least 80% of the GROUND STORY shall have an interior clear height (floor to ceiling) of at least 9 feet.
3. The maximum GROUND STORY floor to ceiling height is 12 feet.

**Upper Story Height**

1. The maximum clear height (floor to ceiling) for STOREYS other than the GROUND STORY is 12 feet.
2. At least 80% of each upper STORY shall have an interior clear height (floor to ceiling) of at least 9 feet.

**Street Wall Height**

A STREET WALL not less than 4 feet in height or greater than 8 feet in height shall be required along any RBL frontage that is not otherwise occupied by a building on the lot.

**Façade**

1. Townhouse/Small Apartment frontages have both the given RBL and a second “RBL2”. This is offset 10 feet from the given RBL into the lot.
2. On each lot the building FAÇADE shall be built-to either the:
  - a. RBL for at least 65% of its length.
  - b. RBL2 for at least 65% of its length with a FRONT PORCH of at least that same width (65% of the RBL2).
  - c. the RBL2 for at least 65% of its length.
3. Option 2.c is not available within 20 feet of a BLOCK CORNER.
4. Shifts between RBL and RBL2 alignments shall be limited to 1 change per 75 feet of BLOCK face.

**Buildable Area**

The BUILDABLE AREA is as defined in the diagram above. A contiguous PRIVATE OPEN AREA equal to at least 15% of the total BUILDABLE AREA shall be preserved on every lot. Up to 33% of the required OPEN AREA may be satisfied through the balconies of individual units. This area may be located anywhere behind the PARKING SETBACK LINE and not including any side or rear setback areas, at grade.

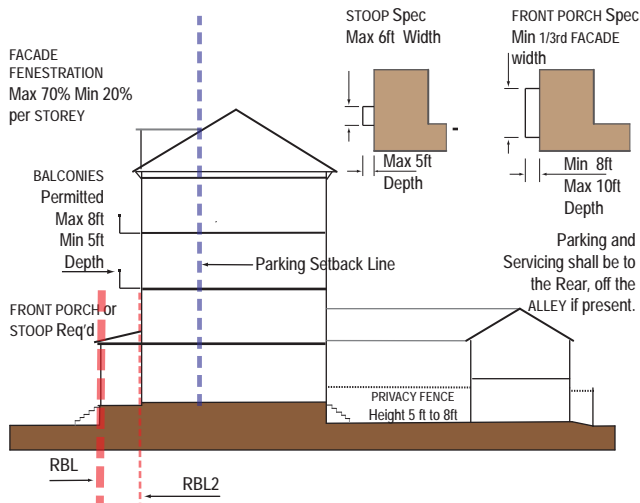
**Garage and Parking**

1. Garage doors/entries are not permitted on any RBL/FAÇADE.
2. At-grade parking may be forward of the PARKING SETBACK LINE only when it is within a garage on a CORNER LOT and the parking areas frontage width is less than 25 feet.

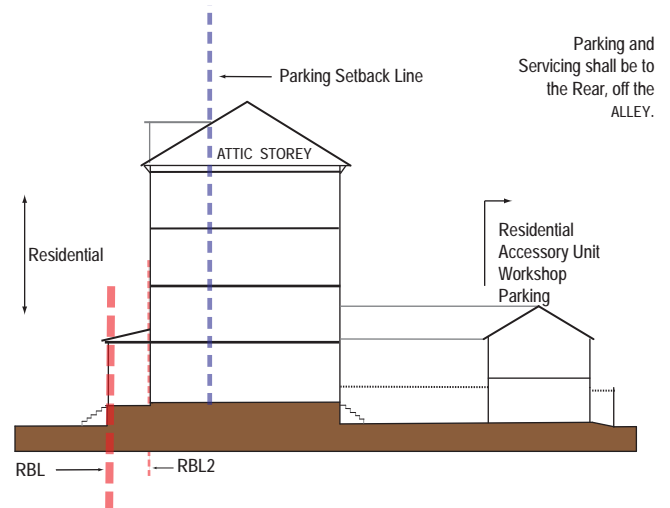
**Frontage Widths**

1. The minimum lot width is 18 feet.
2. Although there are no individual side lot setbacks, no building/set of townhouses may exceed 120 feet of continuous attached STREET FRONTAGE. A gap of 10 feet to 20 feet is required between each such attached structure.





**ELEMENTS**



**USE**

**Fenestration**

1. Blank lengths of wall exceeding 15 linear feet are prohibited on all REQUIRED BUILDING LINES (RBL).
2. FENESTRATION shall comprise between 20% and 70% of the FACADE.
3. No window may face or direct views toward a COMMON LOT LINE within 20 feet unless:
  - a. that view is contained within the lot (e.g. by a PRIVACY FENCE/GARDEN WALL) or,
  - b. the sill is at least 6 feet above the finished floor level.

**Building Projections**

1. Each lot/GROUND STORY unit shall include:
  - a. a STOOP of not more than 5 feet deep and 6 feet wide (not including steps) may be roofed but not enclosed, or
  - b. a FRONT PORCH, between 8 feet and 10 feet deep with a width not less than 1/3<sup>rd</sup> of the FACADE, or as specified in Siting, Facade, 2.
2. No FRONT PORCH may sit forward of the RBL.
3. See FRONT PORCH for additional dimensional requirements.

**Doors/Entries**

Each RBL/FACADE GROUND STORY unit shall provide a functioning entry door with direct STREET-SPACE access.

**Street Walls**

One access gate no wider than 18 feet and one pedestrian entry gate no wider than 5 feet shall be permitted within any required STREET WALL.

**Ground Story**

The GROUND STORY may only house RESIDENTIAL USES.

**Upper Stories**

1. The upper STOREYS may only house RESIDENTIAL USES.
2. Additional habitable space is permitted within the roof where the roof is configured as an ATTIC STOREY.

**Accessory Unit**

1. One ENGLISH BASEMENT unit or one ACCESSORY UNIT is permitted per lot.
2. Parking and ACCESSORY UNIT (maximum 650 square foot footprint) uses are permitted in the BUILDABLE AREA at the rear of the lot.

**Live-Work Frontage Special Conditions**

Where designated on the regulating plan as LIVE-WORK, these frontages shall use this BES standard, excepting that they have the option of using the GROUND STORY configuration for commerce - that of a SHOPFRONT. (See Section 606.D.3. Shopfront Windows for specific requirements.)

# Part 6. Architectural Standards

## 601. Intent

- A. These architectural standards establish basic parameters regarding functional building element configuration and palettes for building materials.
- B. The architectural standards serve to establish a coherent character and encourage a high caliber, lasting quality of development. Buildings shall be reviewed by the Director to verify that they meet the architectural standards (as well as the balance of this Code). The Director may also work with the developer or designer to show them how to work within these requirements.
- C. In order to establish and maintain a sense of place, these standards specify an architectural aesthetic of load-bearing walls and regional materials. Buildings should reflect and complement the traditional materials and techniques of Overland Park. The standards also specify details, such as window proportions, roof or cornice configurations, SHOPFRONTS, and overhangs.



## 602. General Principles

- A. All building materials to be used shall express their fundamental properties. For example, stronger and heavier materials (masonry) support lighter materials (wood).
- B. Equivalent or Better.
  - 1. While only materials, techniques, and product types prescribed here are allowed, equivalent or better practices and products are encouraged. They may be submitted to the Director for review. The Director is authorized to approve alternative materials and methods if they maintain the intent of these standards.
  - 2. Additional products may be added to the list through a text amendment (administration) to this Code or may be allowed on a case by case basis through a modification approved in accordance with Part 2. Administration, Application Process & Appeals.
- C. Where Clearly Visible from the Street-Space.
  - 1. Many of these standards apply only in conditions WHERE CLEARLY VISIBLE FROM THE STREET-SPACE. Note that the definition of STREET-SPACE includes parks, PLAZAS, SQUARES, and CIVIC GREENS but not ALLEYS.
  - 2. These controls therefore concentrate on the public space/views from the public space and minimize interference in the private realm. For example, an architectural element that is visible only through an opening in a STREET WALL is not clearly visible from the street-space. A building element that is more than 40 feet behind the REQUIRED BUILDING LINE does not meet the definition of WHERE CLEARLY VISIBLE FROM THE STREET-SPACE.



## 603. Building Walls

### A. Applicability

WHERE CLEARLY VISIBLE FROM THE STREET-SPACE.

### B. Intent

Building walls should define the public realm - the STREET-SPACE. All walls should express the construction techniques and structural constraints of traditional, long-lasting, building materials. Simple configurations and solid craftsmanship are favored over complexity and ostentation in building form and the articulation of details.

*The illustrations and statements of subsection B. Intent, are advisory only. Refer to the Code standards on the following page for the specific prescriptions of this section.*



### C. Primary Façade Materials, General & Workshop Buildings

Primary building materials shall be used on a minimum of 75% of the FAÇADE surface area (minus FENESTRATION).

1. Brick.
  - a. Ground-floor brick shall be clay brick with a nominal 4" depth.
  - b. Brick above the ground floor may have variable thickness.
2. Natural Stone (or Integrally-colored synthetic, equivalent or better).

### D. Primary Façade Materials, Townhouse/Small Apartment and Detached and Secondary Elevation Materials, General & Workshop

These building materials shall be used on a minimum of 75% of the FAÇADE surface area (minus FENESTRATION) on Townhouse/Small Apartment and Detached buildings. They may also be used on the secondary elevations (not a FAÇADE) of General and Workshop buildings.

1. All materials allowed in Section 603.C above.
2. Stucco (cement plaster).
3. Fiber Cement Siding.
4. Wood.

### E. Secondary Materials, Townhouse/Small Apartment and Detached

Secondary materials shall be used on a maximum of 25% of the FAÇADE surface area (minus FENESTRATION).

1. All materials allowed in Sections 603.C and 603.D above.
2. Metal (second STORY and above).
3. Glass block or integrally colored Ground- or Split-faced block.
4. Decorative tile.
5. Pre-cast masonry.
6. EIFS (above second STORY).
7. Synthetic materials as approved by the Director.

### F. Configurations and Techniques

#### 1. Walls

- a. Wall openings (FENESTRATION): the horizontal dimension of the opening shall not exceed the vertical dimension except where otherwise prescribed in this Code (*no more squat than square*).
- b. Wall openings (FENESTRATION) shall not span vertically more than one STORY.
- c. Wall openings (FENESTRATION) shall correspond to the interior space and shall not span across building structure such as floor structural and mechanical thickness.
- d. Material changes shall be made with appropriate construction details for each abutting material—as where an addition (of a different material) is built onto the original building.

#### 2. Wood Siding and Wood Simulation Materials

- a. Siding shall be in a lap (horizontal) configuration.
- b. Siding shall be smooth or rough-sawn finish.

#### 3. Brick, Block and Stone

All masonry shall be appropriately detailed and in load-bearing configurations commensurate with Overland Park traditions. See the Overland Park Architectural Design Standards for details.

#### 4. Stucco (cementitious finish)

- a. Finish coat may have a smooth, sand, or rough finish.
- b. Stucco shall not come in contact with the ground surface.

## 604. Roofs and Parapets

### A. Applicability

WHERE CLEARLY VISIBLE FROM THE STREET-SPACE.

### B. Intent

Roofs and parapets should demonstrate common-sense recognition of the climate by utilizing appropriate pitch, drainage, and materials in order to provide visual coherence to the district. Roof forms are not interchangeable. The roof type is integral to the design of the building and its architectural character.

The slope of a pitched roof is determined by local climatic conditions (such as the ability to shed snow loads) and physical properties of the roofing material. Roof types that have overhanging eaves, such as gabled or hipped roofs, should be of a dimension suitable for sun shade.

Parapets are low guarding walls at the edge of roofs (usually flat) and are formed by extensions of the building FAÇADES.

Cornices are crowning (trim) projections on a parapet wall. While the code requires certain horizontal projection parameters, these elements should be designed to be appropriate for the style of the building and proportionate for the dimensions of the FAÇADE.

*The illustrations and statements of subsection B. Intent, are advisory only. Refer to the Code standards on the following page for the specific prescriptions of this section.*



## C. Materials

Only the following materials are permitted:

1. Clay or concrete (faux clay).
2. Tile (beavertail or flat roman).
3. Slate (and equivalent synthetic or better).
4. Metal (standing seam, equivalent or better).
5. Dimensional Architectural Grade composition shingles.
6. Cornices and soffits may be a combination of wood, vinyl, and/or metal.
7. Gutters and downspouts may be vinyl, and/or metal in accordance with industry standards.

## D. Configurations and Techniques

The following configurations and techniques are permitted:

### 1. Parapet Roofs

Allowed for General Storefront, General Urban, Workshop, and Townhouse/Small Apartment frontage sites where the roof material is not visible from any adjacent STREET-SPACE.

- a. An additional 3 feet in height by 12 feet in width or 15% of the FAÇADE, whichever is greater, is permitted for a section of the parapet to emphasize the building's primary street entry or a BLOCK CORNER.

### 2. Pitched Roofs

Pitch (exclusive of roofs behind parapet walls):

- a. Simple hip and gable roofs shall be pitched between 5:12 and 10:12.
- b. Shed roofs, attached to the main structure, shall be pitched between 3:12 and 8:12.

### 3. Overhang Requirements

- a. Eaves shall overhang 18 to 30 inches on the primary structure for the initial four STORIES. For each additional STORY; 4 inches shall be added to the minimum and 12 inches shall be added to the maximum, up to a maximum projection of 6 feet.
- b. Eaves and rakes on accessory buildings, DORMERS, and other smaller structures shall overhang at least 8 inches.
- c. Timber eaves and balcony brackets shall be a minimum of 4 inches by 4 inches in dimension.

### 4. Cornices and Other Features

- a. Buildings without visible (pitched) roof surfaces and overhanging eaves may satisfy the overhang requirement with a cornice or similar form projecting from the top of the building wall horizontally between 6 and 12 inches beyond the building walls on the primary structure for the initial four STORIES. For each additional STORY, 3 inches shall be added to the minimum and 12 inches shall be added to the maximum, up to a maximum projection of 5 feet.
- b. SKYLIGHTS and roof vents are permitted only on the roof plane opposite the STREET-SPACE (OR REQUIRED BUILDING LINE) or when shielded from STREET-SPACE view by the building's parapet wall.

## 605. Street Walls and Garden Walls

### A. Applicability

WHERE CLEARLY VISIBLE FROM THE STREET-SPACE.

### B. Intent

Property lines are physically defined by buildings, walls, or fences. Land should be clearly public or private—in public view and under surveillance or private and protected.

STREET WALLS and GARDEN WALLS establish a clear edge to the STREET-SPACE where the buildings do not. These requirements include masonry walls that define outdoor spaces and separate the STREET-SPACE from the private realm (e.g. parking lots, trash cans, gardens, and equipment). All STREET WALL and GARDEN WALL faces shall be as carefully designed as the building FAÇADE, with the finished side out (i.e. the “better” side facing the STREET-SPACE).

A STREET WALL is a masonry wall set back not more than 12 inches from the REQUIRED BUILDING LINE or adjacent building FAÇADE and built to the height specified in the BUILDING ENVELOPE STANDARDS.

*The illustrations and statements of subsection B. Intent, are advisory only. Refer to the Code standards on the following page for the specific prescriptions of this section.*



### C. Materials

Only the following materials are permitted:

1. Native/regional stone and equivalent or better imitation stone.
2. Metal (wrought iron, welded steel and/or electro-statically plated black aluminum) - may be used for gates.
3. Brick.
4. Stucco on concrete block or poured concrete (only when a brick or stone coping is provided).
5. A combination of materials (e.g. stone piers with brick infill panels).
6. Wood - may be used only for gates.

### D. Configurations and Techniques

The following configurations and techniques are permitted.

1. STREET WALLS along any unbuilt REQUIRED BUILDING LINE shall be built to the height and length specified in the BUILDING ENVELOPE STANDARD.
2. Metal work may additionally be treated to imitate a copper patina.
3. Copings shall project between 1 inch and 4 inches from the face of the STREET WALL.
4. STREET WALLS and GARDEN WALLS taller than 4 feet shall be subject to the FENESTRATION requirements of their BES frontage.





## 606. Windows and Doors

### A. Applicability

WHERE CLEARLY VISIBLE FROM THE STREET-SPACE.

### B. Intent

The placement, type, and size of windows and doors on the FACADE largely establishes the scale and vitality of the STREET-SPACE. For commercial buildings, they allow interplay between the shop interiors and the STREET-SPACE. Commercial uses (especially restaurants and retail establishments) benefit from exposure to the passers-by and the STREET-SPACE benefits from the visual activity.

For residences, they form the “eyes on the street” surveillance which provides for the security and safety for the area.

Windows should be divided by multiple panes of glass. This helps the window hold the surface of the FAÇADE, rather than appearing like a “hole” in the wall (an effect produced by a large single sheet of glass).

*The illustrations and statements of subsection B. Intent, are advisory only. Refer to the Code standards on the following page for the specific prescriptions of this section.*



*In commerce frontages, the public space of the STREET-SPACE and the interior space of the storefront intermingle. For residential frontages the interior space should not intermingle with the STREET-SPACE but rather overlook it and provide surveillance.*

## C. Materials

Only the following materials are permitted:

1. Window frames shall be of anodized aluminum, wood, clad wood, vinyl, or steel.
2. Window glass shall be clear, with light transmission at the GROUND STORY at least 90% and for the upper STORIES at least 75% (modification as necessary to meet any applicable building and energy code requirements). Specialty windows (one per FAÇADE maximum) may utilize stained or opalescent glass, or glass block.
3. Window screens shall be black or gray.
4. Screen frames shall match the window frame material or be dark anodized.
5. Doors shall be of wood, clad wood, or steel and may include glass panes.
6. Shutter materials may be painted wood or clad wood.

## D. Configurations and Techniques

The following configurations and techniques are permitted:

1. **All Windows** - The following requirements apply to all windows:
  - a. The horizontal dimension of the opening may not exceed the vertical dimension except where otherwise prescribed in this Code (*no more squat than square*).
  - b. Windows may be ganged horizontally if each grouping (maximum five per group) is separated by a mullion, column, pier or wall section that is at least 7 inches wide.
  - c. Windows (not doors) may be no closer than 30 inches to BUILDING CORNERS (excluding BAY WINDOWS and SHOPFRONTS).
  - d. Exterior shutters, if applied, shall be sized and mounted appropriately for the window (one-half the width), even if inoperable.
  - e. Window panes shall be recessed behind the wall surface a minimum of 3 inches, except for BAY WINDOWS and SHOPFRONTS.
  - f. Snap-in mullions and muntins are permitted but not considered in any proportion calculation/ measurement.
2. **Upper-Story Windows** - The following requirements apply to all upper-STORY windows:
  - a. Windows may be double-hung, single-hung, awning, or casement windows.
  - b. Fixed windows are permitted as follows:
    - (i) Residential buildings/floors: panes of glass no larger than 42" vertical by 30" horizontal.
    - (ii) The maximum pane size for office uses is 60" vertical by 48" horizontal.
    - (iii) Egress windows may be installed as required by the appropriate building code.
3. **Shopfront Windows** - The following apply to SHOPFRONT (GROUND STORY) windows and doors:
  - a. Single panes of glass shall not be permitted larger than 10 feet in height by 5 feet in width.
  - b. GROUND STORY windows may not be made opaque by window treatments (excepting operable sunscreen devices within the conditioned space). (See Section 607. Signage) A minimum of 80% of the window surface shall allow a view into the building interior for a depth of at least 15 feet.
  - c. SHOPFRONTS may extend up to 24 inches beyond the FAÇADE or RBL into the DOORYARD.
4. **Doors**
  - a. Double-height entryways (those that span more than one story) shall not be permitted.
  - b. Doors shall not be recessed more than 3 feet behind the FAÇADE or their SHOPFRONTS and, in any case, shall have a clear view and path to a 45-degree angle past the perpendicular from each side of the door into the STREET-SPACE.

## 607. Signage

### A. Applicability

WHERE CLEARLY VISIBLE FROM THE STREET-SPACE. Applicants must obtain all required sign permits prior to installation.

### B. Intent

Signs along commercial frontages should be clear, informative to the public and durable.

Signs should be scaled and detailed for this mixed use, pedestrian-oriented area and not for high speed automobile traffic.

Signage that is glaring or too large creates distraction, intrudes into or lessens the urban experience, and creates visual clutter.

### C. Requirements

Refer to Section 18.440 of the Unified Development Ordinance for specific signage requirements.

*The illustrations and statements of subsection B. Intent, are advisory only. Refer to the Code standards on the following page for the specific prescriptions of this section.*





## 608. Lighting & Mechanical Equipment

### A. Applicability

District wide, except: these standards do not apply to Metcalf Avenue and 75th Streets.

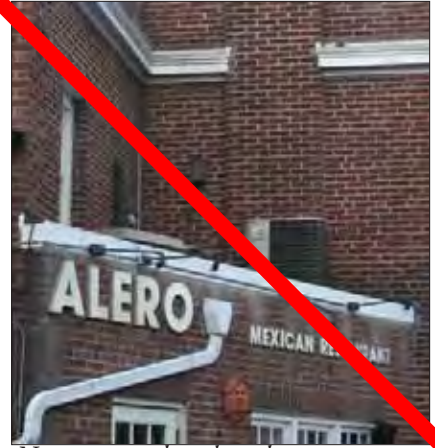
### B. Intent

Appropriate lighting is desirable for night-time visibility, crime deterrence, and decoration. However, lighting that is too bright or intense creates glare, hinders night vision, and creates light pollution. Every attempt should be made to preserve the ambiance of the night by applying the appropriate fixtures in the correct locations. STREETLIGHTING should occur along all streets providing the appropriate illumination according to the City Streetlighting Resolution. All materials and equipment chosen for lighting fixtures should be durable to age well without demanding maintenance requirements.

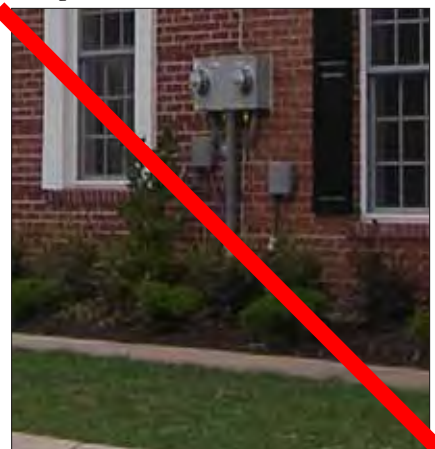
Mechanical equipment is generally any heating, ventilation, and air conditioning (HVAC) or electrical machinery but also includes air compressors, hoods, mechanical pumps, exterior water heaters, water softeners, utility and telephone company transformers, meters or boxes, garbage cans, storage tanks, and similar elements. These elements should not be located in any public areas or be visible from the street. Mechanical equipment should not detract or interfere with the pedestrian space or sight triangle.

*The illustrations and statements of subsection B. Intent, are advisory only. Refer to the Code standards on the following page for the specific prescriptions of this section.*

*The illustrations below are examples of mechanical equipment arrangements that are only acceptable away from and/or not visible from a STREET-SPACE (e.g. within an ALLEY or hidden from view).*



*Not permitted within the STREET-SPACE*



*Not permitted within the STREET-SPACE*



*Not permitted within the STREET-SPACE*



## C. Lighting

1. The configuration of STREETLIGHTING poles will be based on the street designation.
  - a. For streets designated Major Urban, STREETLIGHTS shall generally be installed in the median, where a median exists. Where a median does not exist, the placement of poles shall be on the side of the street and coordinated with the location of both overhead and underground utilities.
  - b. For all other street designations, STREETLIGHT poles shall be a pedestrian scale and will generally be installed on either one or both sides of the street depending on street width. The placement of STREET TREES shall be coordinated with the location of STREETLIGHTS such that trees are not placed any closer than 15 feet from any STREETLIGHT.
2. At the front of the building, exterior lights shall be mounted between 6 feet and 14 feet above the adjacent grade, or as approved by the Director.
3. All lots with ALLEYS shall have lighting fixtures within 5 feet of the ALLEY. These fixtures shall illuminate the ALLEY and not cause glare in adjacent lots.
4. Lighting elements shall be specified that provide a more natural spectrum of light such as LED, metal halide, halogen. Low pressure sodium lamps are not allowed. Fluorescent lights (except compact fluorescent bulbs that screw into standard sockets) shall not be used on the exterior of buildings. These standards may be updated by the Director as technologies advance and produce additional EQUIVALENT OR BETTER lighting elements.
5. Security lights may be used to illuminate ALLEYS, parking garages and working (maintenance) areas, but shall be shielded in such a way that they do not shine into other lots, the STREET-SPACE, or direct light out of the FBC district.
6. Flood or uplighting may not be used to illuminate private building walls. Accent lighting may be permitted on CIVIC USE BUILDINGS, historic buildings, or monuments to highlight architectural features (such as church steeples or courthouse domes).
7. Site lighting shall be of a design and height and be located as to illuminate only the lot. An exterior lighting plan shall be approved as consistent with these standards by the Director.
8. Flashing, traveling, animated, or intermittent lighting shall not be mounted on the exterior of any building whether such lighting is of temporary or long-term duration.
9. Lighting for parking garages shall consider Crime Prevention Through Environmental Design (CPTED) intent.
10. Holiday Lighting is exempt.

## D. Mechanical Equipment

1. The following shall be placed behind and away from any REQUIRED BUILDING LINE, may not be stored or located within any STREET-SPACE, and shall be screened from view from the STREET-SPACE: air compressors, mechanical pumps, exterior water heaters, water softeners, utility and telephone company transformers, meters or boxes, garbage cans, storage tanks, and similar equipment.
2. The following shall be screened from pedestrian-level view (5 feet above paved surface) from the ALLEY or COMMON DRIVE: air compressors, mechanical pumps, exterior water heaters, water softeners, garbage cans, storage tanks, and similar equipment.
3. Roof-mounted equipment shall be placed behind and away from any REQUIRED BUILDING LINE and be screened from view from the STREET-SPACE.

# Part 7. Parking and Loading Standards

## 701. Intent

- A. Promote a “park once” environment that will enable people to conveniently park and access a variety of commercial, residential, and civic enterprises in pedestrian friendly environments by encouraging shared parking.
- B. Reduce fragmented, uncoordinated, inefficient, reserved single-purpose parking.
- C. Avoid adverse parking impacts on neighborhoods adjacent to redevelopment areas.
- D. Maximize on-street parking.
- E. Provide flexibility for redevelopment of small sites and for the preservation of historic buildings.
- F. Increase visibility and accessibility of public parking.
- G. Promote early prototype projects using flexible and creative incentives.

## 702. Other Applicable Regulations

Pervious surfaces approved by the City Engineer are encouraged for surface parking lots.

## 703. Minimum Parking Requirements

- A. Reserved Parking. Reserved parking includes all parking that is not shared parking.
  - 1. COMMERCE/WORKSHOP/CIVIC - There is no requirement (minimum) for reserved parking.
  - 2. RESIDENTIAL - A minimum of one parking space per residential unit shall be provided.
- B. Shared Parking.
  - 1. COMMERCE/WORKSHOP - There are no minimum shared parking requirements where the non-residential Gross Floor Area (GFA) is under 10,000 square feet. Sites over 10,000 square feet in non-residential GFA shall have a minimum of 1 and 1/4 spaces per 1,000 square feet of non-residential GFA provided as shared parking.
  - 2. RESIDENTIAL - A minimum of 1/4 parking space per residential unit shall be provided as shared parking.
  - 3. Shared parking shall be designated by appropriate signage and markings (parking shall be clearly visible and accessible to the public) as determined by the Director.
- C. Achieving Parking Requirements.
  - 1. These parking requirements may be met either on-site or within an 800 foot walking distance of the development.

2. Parking shall be located in compliance with the parking setback/ regulations for the site on which it is located, as indicated on the REGULATING PLAN and/or BUILDING ENVELOPMENT STANDARD.

D. Bicycle Parking. Sites and/or projects over 10,000 square feet in land area have the following requirements:

1. For commerce, the developer must provide two bicycle parking racks (2- bike capacity) per 10,000 square feet of commercial floor area.
2. For residential, the developer must provide one bicycle parking rack (2- bike capacity) per 10 units. Projects under 10 units shall have no requirement.
3. Bicycle parking facilities shall be visible to intended users. The bicycle parking facilities shall not encroach on any area in the public right-of-way intended for use by pedestrians, nor shall they encroach on any required fire egress.
4. On-street bicycle parking spaces (typically along the STREET TREE ALIGNMENT LINE) may be counted toward the minimum customer/ visitor bicycle parking requirement.

E. Permissive parking and loading facilities. Nothing in this ordinance shall be deemed to prevent the voluntary establishment of off-street parking or loading facilities to serve any existing use of land or buildings, in accordance with all regulations herein governing the location, design, and operation of such facilities.

F. Areas exempt from off-street parking requirements. No off-street parking shall be required for development which occurs in the Form District and is located contiguous with and fronting Santa Fe Drive between 79th and 80th Streets.

## 704. Maximum Parking Standards

A. Reserved Parking.

Surface and structured parking spaces may be reserved for a specific tenant or unit, provided that the following standards are not exceeded:

Use	Reserved (non-shared) Spaces (maximum)
<b>Residential</b>	2.0 per single-family dwelling unit 1.0 per one-bedroom multifamily unit 2.0 per two- or more-bedroom multifamily unit
<b>Nonresidential</b>	1.0 per 1,000 non-residential GFA



## B. Shared Parking Limits.

1. Any time or hour of the day restrictions on shared parking shall be subject to approval by the Director. The Director may give approval based on a finding that: the parking is visible and accessible to the public, at least 12 hours of public parking are provided in any 24-hour period, and that at least 8 of those hours are provided during either business or nighttime hours depending on whether the Director determines that the primary use will be for COMMERCE OR RESIDENTIAL uses.
2. There are no maximum limits on the amount of shared parking.

## C. Maximum Surface Parking (refer to DFD Parking Map).

1. Within the Core, the total surface parking, shared and reserved, shall not exceed 2 and 1/4 spaces per 1,000 square feet of gross floor area. Outside the Core, the total surface parking shall not exceed 3 per 1,000.
2. Maximum surface parking standards do not apply to structured or underground parking.
3. Increased Parking - The Planning Commission may increase the required parking after considering documentation and/or study provided by the applicant, staff's recommendation and giving decisive weight to all relevant facts. These include but are not limited to the following factors: existing or potential shared parking arrangements; the characteristics of the use, including hours of operation and peak parking demands; design and maintenance of off-street parking that will be provided; and whether the proposed use is new or a small addition to an existing use.

# 705. Special Parking Standards

## A. Joint Parking

Sites abutting one another shall physically connect their surface parking areas at the lot line to create connecting drive aisles. Where such surface parking areas lie within 50 feet of one another, a mutual access easement acceptable to the Director shall be executed. Site configurations existing pre-Code (2010) are exempt from this requirement.

## B. On-Street Parking

1. A parking space located on a public street may be included in the calculation of shared parking requirements if it is adjacent to the building site (where more than 50% of the space is fronting).
2. Each on-street parking space may only be counted once.

### C. Off-Site Parking

1. Off-site parking must be located within a walking distance of 800 feet from the site it is serving.
2. The off-site parking shall be located within the Form District.
3. The off-site parking must be the subject of a long-term lease approved as to form by the City Attorney, or permanently dedicated for off-site parking use.

### D. Tandem Parking

1. Tandem parking is only allowed for:
  - a. Single-family residential projects; and
  - b. Multifamily projects and the residential component of mixed use projects.
2. Two parking spaces in tandem shall have a combined minimum dimension of 9 feet in width by 34 feet in length.
3. Up to 75% of the total required off-street parking spaces provided may incorporate tandem parking.
4. Tandem spaces shall be assigned to the same dwelling unit. Tandem parking shall not be used to provide guest parking.

## 706. Surface Parking Lot Plantings for New Development

- A. The edge of any surface parking lot adjacent to a STREET-SPACE shall be planted with canopy shade trees from the Tree Lists in Part 5. Urban Space Standards, placed at an average distance not to exceed 30 feet on center and aligned parallel 3 to 7 feet behind the RBL/STREET WALL.
- B. The edge of any surface parking lot adjacent to a single-family residential (detached or attached) lot shall be planted with canopy shade trees from the Tree Lists in Part 5. Urban Space Standards, placed at an average distance not to exceed 40 feet on center and aligned parallel 3 to 7 feet behind the COMMON LOT LINE.
- C. Edges along a COMMON LOT LINE shall have a STREET WALL, GARDEN WALL OR PRIVACY FENCE.

## 707. Loading Facilities

- A. No loading facilities are required.
- B. Where loading facilities are provided, they shall be located to the rear and ALLEY OR COMMON DRIVE side of buildings.

# Part 8. Building Functions

## 801. General Provisions

### A. Permitted Use

Uses are grouped into categories. Permitted uses by BUILDING ENVELOPE STANDARD frontage are shown in Section 802. Use Table. The categories in the use table are listed in Section 804. Development and Performance Standards.

### B. Use Determination

1. Administrator Responsibility. The Director is responsible for categorizing all uses. If a proposed use is not listed in a use category, but can be said to be reasonably similar in impact on the Form District to a listed use, the Director shall treat the proposed use as a use under that category. If a proposed use is not listed in a use category, and is fundamentally different from any other listed use, the use shall be prohibited.
2. Uses Not Specifically Listed. When determining whether a proposed use is similar to a use listed in Section 804. Development and Performance Standards, the Director shall consider the following criteria:
  - a. The actual or projected characteristics of the proposed activity in relationship to the stated characteristics of each use.
  - b. Types of vehicles used and their parking and/or loading requirements.
  - c. The likely impact on surrounding properties.
  - d. The intent of the Form District.

## 802. Use Table

The use table identifies the uses allowed in the respective BES (BUILDING ENVELOPE STANDARD) frontages.

USE CATEGORY		BUILDING ENVELOPE STANDARDS									Additional Standards
		General Urban		General Storefront		Townhouse/ Small Apt		Workshop		Detached	
		Ground Story	Upper Story	Ground Story	Upper Story	Ground Story	Upper Story	Ground Story	Upper Story	All Stories	
<b>RESIDENTIAL</b>	Household Living	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>	Sec. 804.B.1-2
	Group Living		<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	See City for Specifications
<b>COMMERCE</b>	Office	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
	Overnight Lodging	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	Sec. 804.D
	Recreation/Entertainment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>						Sec. 804.E.1-6
	Vehicle Sales	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>	<input type="checkbox"/>		Sec. 804.E.6
	Passenger terminal	<input checked="" type="checkbox"/>						<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
	Day Care	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>			<input type="checkbox"/>	See City for Specifications
	Retail Sales & Service	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>		Sec. 804.E.2, 3, 6
	Restaurant/Bar	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			<input type="checkbox"/>			Sec. 804.E.1-5
	Gas Station/Auto Repair	<input type="checkbox"/>	<input type="checkbox"/>								Sec. 804.F
<b>WORKSHOP</b>	Light Industrial & Manufacturing							<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
	Research & Development		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
	Wholesale/Warehouse/Distribution							<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		
	Self-service storage		<input type="checkbox"/>					<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		See City for Specifications
	Gas Station/Auto Repair	<input type="checkbox"/>						<input type="checkbox"/>	<input type="checkbox"/>		Sec. 804.F
<b>CIVIC</b>	See Part 9. Definitions	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Sec. 804.C
<b>Key:</b> <input checked="" type="checkbox"/> = Permitted <input type="checkbox"/> = Additional Regulations Apply    Blank Cell = Not Permitted											

## 803. Use Categories

### A. Residential Use Categories

1. Household Living
  - a. One- and two-family dwellings
  - b. Multi-family dwellings
  - c. Elderly housing
2. Group Living
  - a. Assisted Living
  - b. Boarding house, rooming house, lodging house
  - c. Hospice
  - d. Dormitory
  - e. Monastery/convent
  - f. Nursing home
  - g. Transitional home

### B. Commerce Use Categories

1. Any use permitted in District CP-2, subject to applicable development and performance standards, except for those differences listed below.
2. Hotels and Lodging
3. Auditoriums and arenas
4. Conference facilities and convention centers
5. Communication antennas mounted on existing structures

### C. Workshop Use Categories

Any use permitted in Districts CP-3 and BP, subject to applicable development and performance standards.

### D. Civic Use Categories

1. See Part 9. Definitions: CIVIC USE
2. College, community college, university
3. Museum, library, auditorium, arena
4. Places of worship including church, mosque, synagogue, temple
5. Police, fire, EMS station, substation
6. Public or private (K-12) school
7. Neighborhood arts center, Community Center or similar community facility (public)
8. Farmers Market
9. Designated historic structures

## 804. Development and Performance Standards

### A. General

1. All permitted uses shall meet Section 402. General Provisions and those standards specified in the applicable individual BUILDING ENVELOPE STANDARD pages.
2. No CIVIC, COMMERCE OR WORKSHOP USE is permitted above a RESIDENTIAL USE.
3. Businesses providing drive-up services shall not have a drive-through lane or service window that abuts or faces a STREET-SPACE.
4. No smoke, radiation, vibration or concussion, heat or glare shall be produced that is perceptible outside a building, and no dust, fly ash or gas that is toxic, caustic or obviously injurious to humans or property shall be produced.
5. Communication antennas may be installed on any existing structure (such as a building, utility pole, water tower etc., but excluding single-family residences and accessory uses) 3 STORIES in height or greater but no less than 45 feet provided that the additional antennas shall add no more than 20 feet to the height of said existing structure. Communication antennas which are architecturally compatible to the building architecture may locate on non-residential buildings less than 3 STORIES or 45 feet in height, subject to receiving a Certificate of Conformity. Associated equipment may be permitted on the roof so long as it is screened from view in accordance with Ordinance Section 18.450.100. Ground-mounted equipment is subject to the performance standards outlined in Ordinance Section 18.395.070 (H-N).

### B. Residential

1. See the General Urban BES for configuration requirements for GROUND STORY RESIDENTIAL USES.
2. A lobby serving an upper STORY RESIDENTIAL USE is permitted on the GROUND STORY of a General Storefront site.
3. For Workshop sites, RESIDENTIAL USE is permitted on the top STORY or upper most STORY only and shall not exceed 25% of the gross floor area of the entire building.

### C. Civic

Buildings that house CIVIC USES located on civic sites specifically designated on the REGULATING PLAN are not subject to Part 4. Building Envelope Standards, or Part 6. Architectural Standards.

### D. Overnight Lodging

1. A lobby serving an upper STORY overnight lodging use is permitted on the GROUND STORY of any General Storefront site.
2. For DETACHED FRONTAGES, only Bed & Breakfast types are permitted.

## **E. Restaurant/Bar, Retail Sales**

1. Outdoor eating areas for eating/drinking establishments shall be allowed on the public sidewalk in General Urban and/or Storefront frontages, subject to:
  - a. the provision of a minimum clear width of 5 feet within the CLEAR WALKWAY area; and
  - b. a joint use of R.O.W. agreement.
2. An eating/drinking establishment or RETAIL USE is permitted in the second STORY of a General Storefront or General Urban site provided it is an extension equal to or less than the area of the same GROUND STORY use.
3. An eating/drinking establishment or RETAIL USE is permitted in the second STORIES or rooftop of a General Storefront and General Urban sites. For rooftop locations the use shall be set back from any COMMON LOT LINE by at least 20 feet.
4. The sale and consumption of cereal malt beverages and alcoholic liquor shall be subject to the provisions set out in Ordinance Section 18.260.050, and as required in Chapters 5.12, 5.20, and 5.48 of the Overland Park Municipal Code, as applicable.
5. Clubs and drinking establishments are required to obtain a Special Use Permit if the walls of the facility are within 200 feet of a residential zoned property which is not included in the Form District.
6. No merchandise (including motorcycles, scooters, and automotives) may be left within the STREET-SPACE when the business is not open.
7. Only merchandise or a commodity manufactured on premise may be sold in the GROUND STORY of a Workshop site.

## **F. Gas Station/Auto Repair**

A gas station or auto repair shop may be permitted, subject to the following:

1. The use shall not include the display and rental of cargo trailers, trucks, or similar uses;
2. The storage or junking of wrecked motor vehicles (whether capable of movement or not) is prohibited.