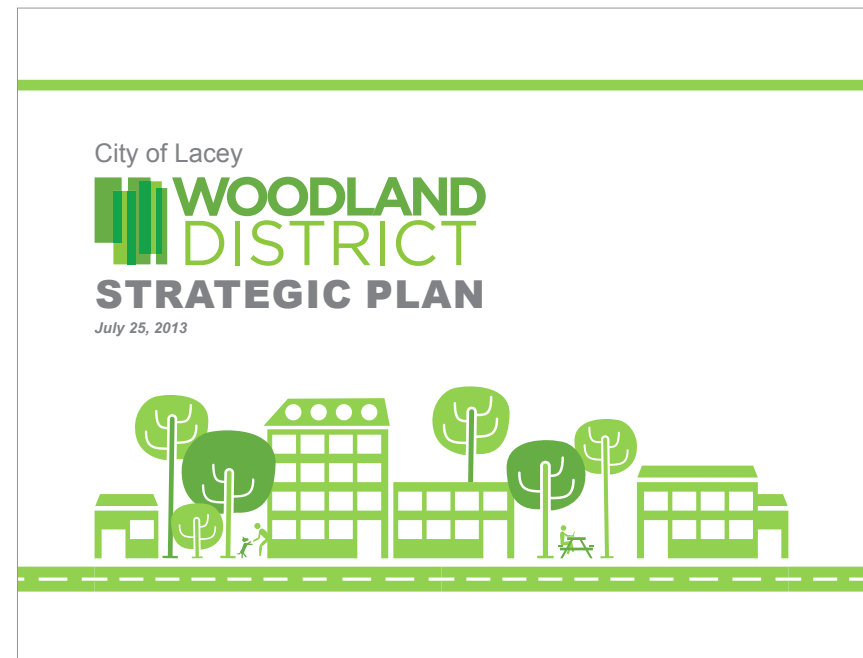


The foundation provided by the 2013 Woodland District Strategic Plan

Goals of the Strategic Plan:

- » Knit together the different areas and characters into a vibrant downtown;
- » Seize this opportunity to build upon Lacey's 50 year history;
- » Capture existing value and leverage current investment;
- » Retain what works well and add new tools to implement the concepts of the Strategic Plan.

Number one recommended action: Develop a form based code for the Woodland District



The existing context

At the time of incorporation in 1966, the Woodland area of Lacey was characterized by suburban sprawl. In 2000, in its Downtown Vision Plan, the city identified the district as the site of a future downtown. The 2013 Strategic Plan performed an inventory of the physical context, and detailed the policy, regulatory, and investment strategies that were necessary for transformation.

As stated in the Strategic Plan:

“The District has the structure and services that make a great neighborhood; most places are within one quarter-mile of each other; there are two grocery stores, retail services and three urban trails; it has direct freeway access and exposure, a Transit Center and sidewalks on all of the streets; there is a university and in 2015, South Puget Sound Community College will establish a campus in the District; there are three City parks, one of which hosts community events; and mature second growth trees cover half of the District. The District has great bones.

Yet the blocks are large, sub-districts tend to have single uses and walking routes are indirect. Direct connections between major destinations are scant. State employment numbers have dropped and a significant number of buildings are unoccupied or partially leased.”



Pacific Avenue in 1973, 7 years after the incorporation of Lacey



Lacey's Woodland District today

Lacey's new downtown

In its 2000 Downtown Plan Vision Statement, Lacey citizens and leaders expressed a desire to transform the district:

“By the year 2020, Downtown Lacey will be a vibrant, alive, whole, prosperous place for all residents and visitors. Lacey’s new downtown will invite a rich mix of all people of all ages and ethnicities, especially children, teenagers and seniors.”

The form based code is the latest in a series of efforts aimed at transformation of the Woodland District.

Existing Conditions



Figure 6. Hearts of the Community

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Hearts of the community diagram from the 2013 Strategic Plan

Recommendations



Figure 8. Urban Design Concept

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Urban design concept from the 2013 Strategic Plan

The Charrette

A 4-day charrette was held early in the project to confirm the direction provided by the Strategic Plan, develop detailed design for streets and subdistricts and gain consensus on FBC details.

Charrette Schedule Day-by-day

	Monday March 23 Day One	Tuesday March 24 Day Two	Wednesday March 25 Day Three	Thursday March 26 Day Four
Focus of the day's work	FBC 101 Woodland District Hybrid FBC goals and objectives Proposed FBC components	Preliminary Woodland District Hybrid FBC alternatives Integrate feedback from hands-on workshop	Develop preferred alternative Develop Hybrid FBC components Develop FBC Integration Strategies	Preferred alternatives Draft FBC Components Refined FBC Integration Strategies
8 am - 9 am	Document and synthesize previous evening event feedback			
9 am - 10 am	Internal design team meetings			
10 am - 11 am	Meet with stakeholders (drop-in or by appointment)			
11 am - 12 pm	Test FBC options with City staff			
12 pm - 1 pm	Lunch			
1 pm - 2 pm	Internal design team meetings			
2 pm - 3 pm	Meet with stakeholders (drop-in or by appointment)			
3 pm - 4 pm	Prepare for evening events			
4 pm - 5 pm	Test FBC options with City staff			
5 pm - 6 pm	5:30-7:30PM Public Kick-off Meeting Hands-on Workshop	5:30-7:30PM Open House	5:30-7:30 Technical Meeting 3	5:30-7:00 Public Presentation (City Council Meeting)
6 pm - 7 pm				

Public events

- ✓ Hands-on Workshops
- ✓ Open House
- ✓ Drop-in discussions with the Charrette Team
- ✓ Final Presentation and Workshop



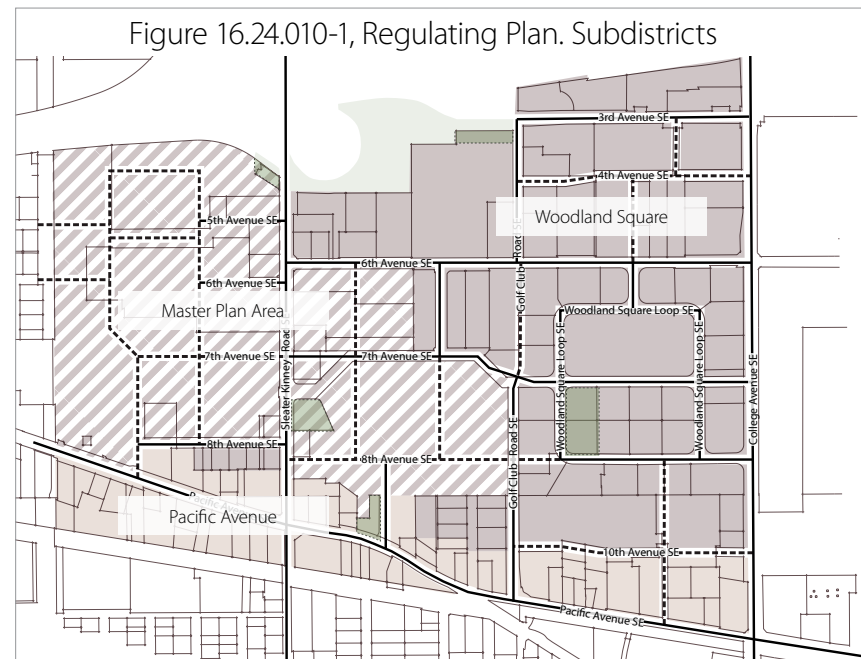
The FBC establishes three new subdistricts

The FBC translated the 2013 Strategic Plan “Future Place Types” into regulations for block size and perimeter, building envelope (setbacks, step backs and height), and required frontage types.

The subareas acknowledge the property ownership patterns, and likelihood of development over time. The Pacific Avenue Subdistrict, for example, anticipates development will be carried out by small business owners and will occur more incrementally than in the center of the district. In the Pacific Avenue Subarea, therefore, the requirements permit a gradual compliance over time, “proportional” to the investment made at the time of approval.



Place Types as identified in the 2013 Strategic Plan

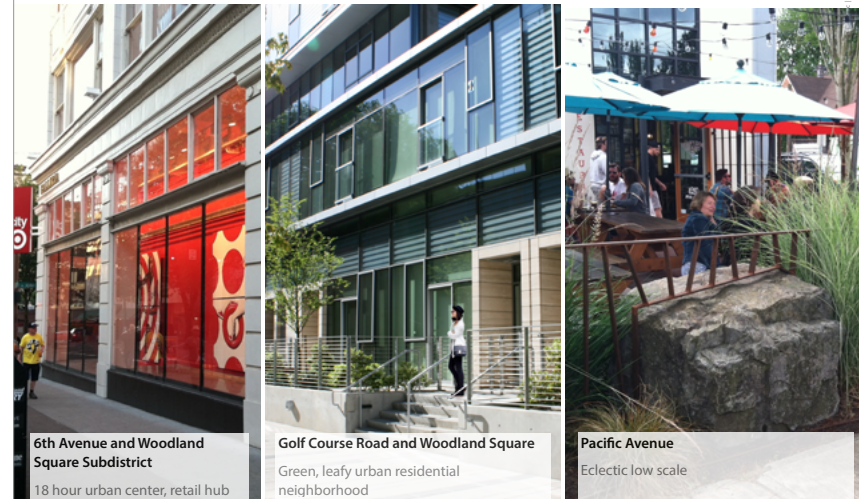


Adopted Woodland District FBC Subareas Regulating Plan

Each Subdistrict has a set of customized regulations

Within the FBC framework of Regulating Plan and Development Standards, each Subdistrict has customized regulations that support the distinct character and personality of that subdistrict.




Themes: the character and personality of each street and subdistrict



Overview of Subdistrict character

The Pacific Northwest architectural style guidelines and Design Character Elements

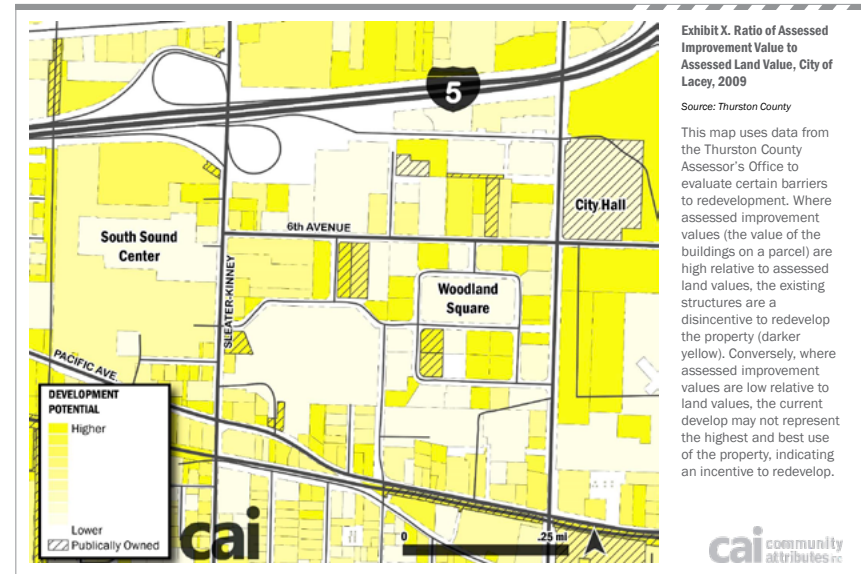
To supplement the clear and objective standards for building envelope and massing, the FBC includes guidelines for design character elements and definition of an appropriate Pacific Northwest architectural style.

Categories	Guidelines	Example Image
Strong Simple Forms	<ul style="list-style-type: none"> Strong, simple forms that reflect the building's function and use Strong low-slope projecting roof form Building scale, proportions, and design expression acknowledge existing context Outdoor rooms accessible from the building but also provide privacy from the sidewalk Strong, clear definition of the building roof cornice against the sky 	
Material Expression	<ul style="list-style-type: none"> A limited palette of materials; that are simply used, but with careful detailing. Such materials may include: concrete, wood, standing-seam sheet metal, glass, board-and-batten siding, wood siding, corrugated sheet metal, board-formed concrete, board-and-batten siding, commercial/ industrial terra cotta, stone siding, spaced wood sun screens, ply-formed concrete, horizontal wood siding, brick, sheet metal panels, standing-seam metal roofing, stucco, heavy-timber Steel tube structural system is expressed as a design element Heavy timber structural system (column and bracing) is exposed as a design element 	
Generous Use of Glazing	<ul style="list-style-type: none"> Generous use of commercial/ industrial glazing that connects the interior function to the public realm Continuous ribbon skylight accentuates the glu-laminated timber roof structure and helps to define the programmatic functions of different parts of the building Additional glazing helps to define points of entry at each level 	

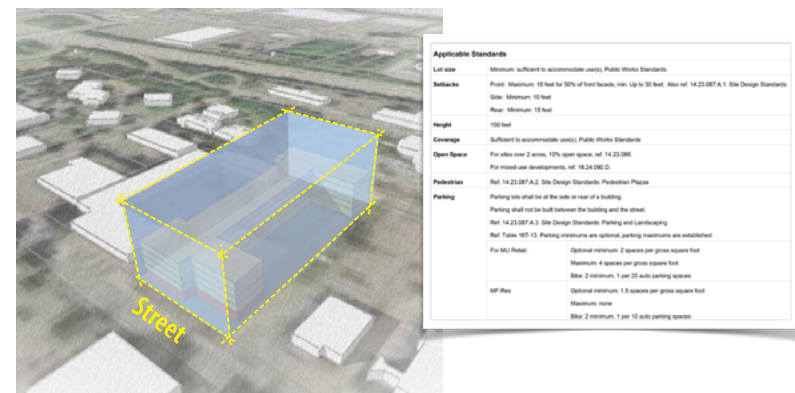
Carefully Detailed	<ul style="list-style-type: none"> Balance of horizontal and vertical lines and materials that add interest Building forms look simple at a distance, but details become apparent as the observer grows closer to the building Clear articulation of building wall at roof 	
Clear Orientation, Inviting and Human Scaled	<ul style="list-style-type: none"> Outdoor rooms accessible from the building Balance of exterior and interior lighting that makes the building equally inviting day or night Strong low-slope projecting roof form at building entrance Bicycle parking adjacent to and visible from the building entrance Facades are subdivided into smaller, human-scaled elements that are defined by a change of materials Vertical circulation (stair) is apparent as one approaches the building which encourages active use Horizontal canopy shields the pedestrian on the sidewalk, defines the commercial realm, and helps to orient visitors to the entries 	

Market analysis and 3D modeling

The FBC team included a Market Analyst who prepared an analysis report early in the process. This person worked with the team, advising during the 3D modeling task, and providing economic feasibility testing of the FBC concepts. This work was used to establish the three improvement thresholds for the “proportional compliance” section of the FBC.



3D Modeling Exercise



Staff training materials

To assist the City in the implementation process of their new FBC, a series of decision trees were created to diagram proportional compliance and master plan requirements.

