



Perspective of the Station Plaza

WYANDANCH RISING | Wyandanch Form Based Code

Transforming Long Island's Poorest Neighborhood, into a Mixed-Use, Pedestrian Friendly, Transit-Oriented Town Center.



CURRENTLY Long Island's **POOREST** Community...

Current Conditions



Existing Retail



Abandoned Lot



Existing Train Station



View Along Straight Path

CURRENT CONDITIONS Built Using the Existing Code...



Perspective Along Straight Path

ENVISIONED Built Utilizing the Form Based Code



Perspective Along Straight Path

PILANUN' 2013

EXISTING TRANSIT Center...



Perspective of South Plaza and Train Station

TRANSIT-ORIENTED TOWN CENTER Built with the Form Based Code



PILANUN'2013

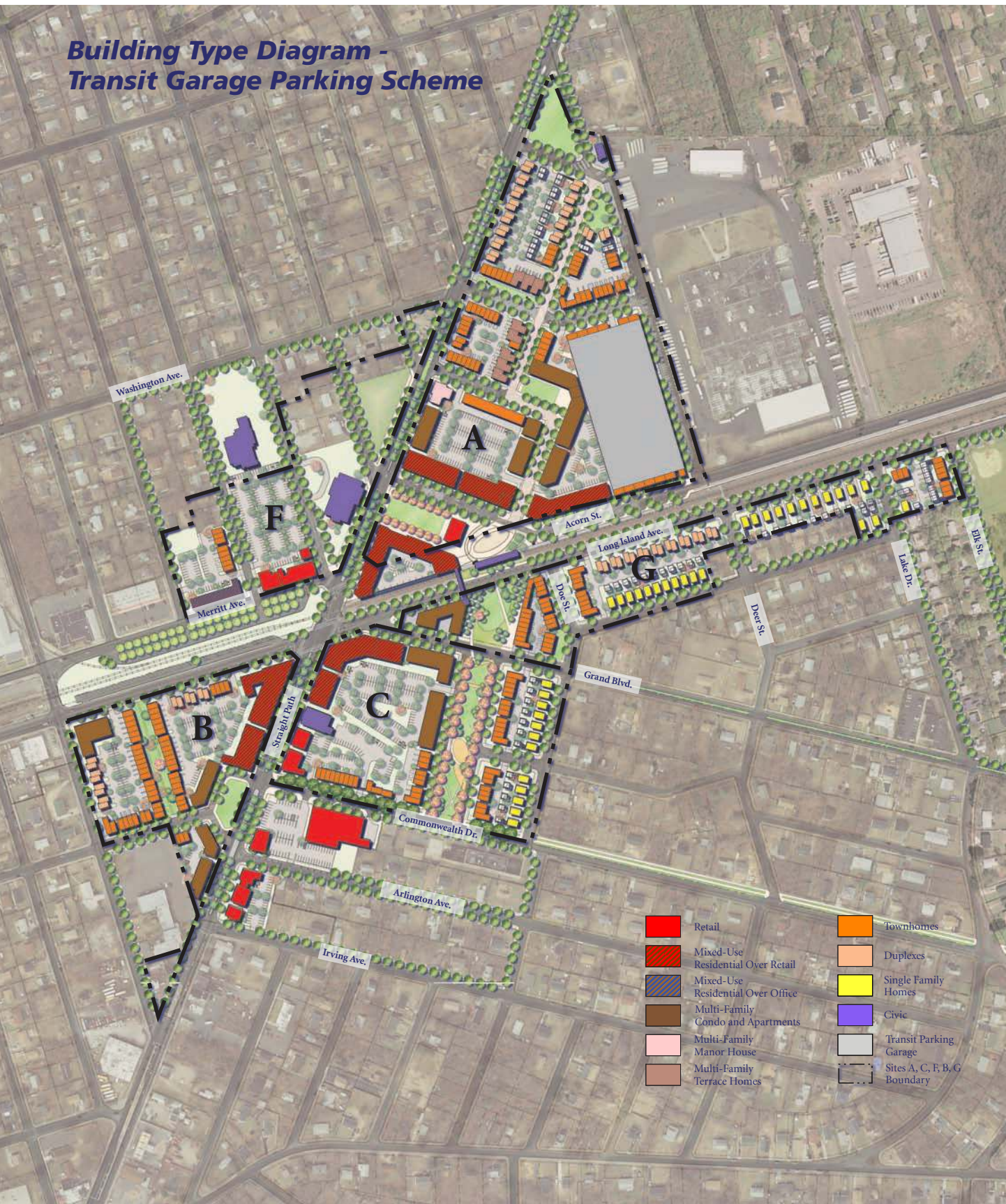
Perspective of South Plaza and Train Station

TOWN CENTER CHARRETTE PLAN



- 1 Station Plaza** The heart of town center, the Transit Plaza will accommodate many activities.
- 2 South Plaza and Pedestrian Bridge** A new pedestrian bridge is located to create a north-south link within the town center.
- 3 South Lawn** This linear green is a recreational space for residents and a visual link between Commonwealth and the Train Station.
- 4 Transit Garage** A 2,000 space garage can be accommodated, but can begin as surface parking and accommodate the rail road's needs.
- 5 Neighborhood Green** This small green provides a visual terminus from the train station and serves to shift the north-south axis.
- 6 Community Park** This triangular park terminates town center's northern edge and is designed with subsurface structural support to function as parking for a nearby Church.
- 7 Straight Path** Design guidelines transform the existing suburban highway character into a walk-able street.
- 8 Grand Boulevard** A median is proposed along Grand Boulevard to strengthen the visual link to Geiger Park. Reconfiguring the street framework allows mixed-use and multi-family buildings close to Straight Path.
- 9 Commonwealth Drive** This very wide street is reconfigured to provide a more narrow roadway and a linear green that strengthens the connection to Geiger Park.
- 10 Cobble Street** The cobble street links the transit station to the Neighborhood Plaza and then links to the Neighborhood Green at the north end of town center. Pavers will identify this sequence as the primary north south connection.
- 11 Health Center** The Health Center is relocated to anchor the western terminus of the Transit Plaza.
- 12 Chinese Parking** Inspired by a parking lot found in China, the surface parking west of Straight Path along Acorn is reconfigured to provide a grid of trees over the parking that can be used on weekends as community space for activities such as a farmer's market.

An Urban Design Achievable with Three Distinct Development Strategies



In order to demonstrate the design flexibility and development potential of the project area, three distinct build out scenarios have been tested against the code document.

1 - Preferred Alternative Program:

Transit Parking Garage

The most likely build-out of the plan is reflected in the adjacent diagram and table. Alternate densities using the same block framework are found on the following slide.

Program

	Civic	Retail	Office	Residential							Total D.U.	
				Live/Work	Live/Work	Flex	Apartments	Ter-race	Manor House	Town-house		Du-plex
	(SF)	(SF)	(SF)	D.U.		D.U.	D.U.		D.U.	D.U.	D.U.	D.U.
Site F	30,000	10,826	7,308	10					8			18
Site A		60,496			106	75	24	9	78	32		324
Site B		28,940		42		84			55	14		195
Site C	5,979	32,726				134			43		12	189
Site G						28			44	18	25	115
Other	12,148	31,316										
	48,127	164,304	7,308	52	106	321	24	9	228	64	37	841

2 - Alternate Program: Surface Parking

Surface Parking

The basic framework of the plan allows for multiple development scenarios and phasing. The alternate program illustrates how most of the Town center could be redeveloped prior to the implementation of the Transit Garage with the remaining surface parking lots being developed when the Transit Garage is built.

Building Type Diagram



Program

	Civic	Retail	Office		Residential							Total D.U.	
			Live/Work	Live/Work	Flex	Apartments	Terrace	Manor House	Town-house	Duplex	Single Fam.		
	(SF)	(SF)	(SF)	D.U.		D.U.	D.U.	D.U.	D.U.	D.U.	D.U.	D.U.	D.U.
Site F	30,000	10,826	7,308	10					8				18
Site A		60,496			106	75	24	9	78	32			324
Site B		28,940		42		58			55	6			161
Site C	5,979	32,726				134			43		12		189
Site G						28			35		1		64
Other	12,148	31,316											
	48,127	164,304	7,308	52	106	295	24	9	219	38	13		756

3 - Alternate Program: Shared Parking

Shared Parking

The plan can also accommodate an increase in density through the use of shared parking while still maintaining the street, block, and open space framework.

Building Type Diagram



Program

	Civic	Retail	Office		Residential							Total D.U.	
			Live/Work	Live/Work	Flex	Apartments	Terrace	Manor House	Town-house	Duplex	Single Fam.		
	(SF)	(SF)	(SF)	D.U.		D.U.	D.U.	D.U.	D.U.	D.U.	D.U.	D.U.	D.U.
Site F	30,000	10,826	7,308	10					8				18
Site A		70,740			26	429	24		66	32			577
Site B		28,940		42		84			55	14			195
Site C	5,979	17,832				213			43		12		268
Site G						28			44	18	25		115
Other	12,148	31,316											
	48,127	159,654	7,308	52	26	754	24		216	64	37		1173



REGIONAL AND LOCAL OPEN SPACE MASTER PLAN

Core Area Open Space Connection



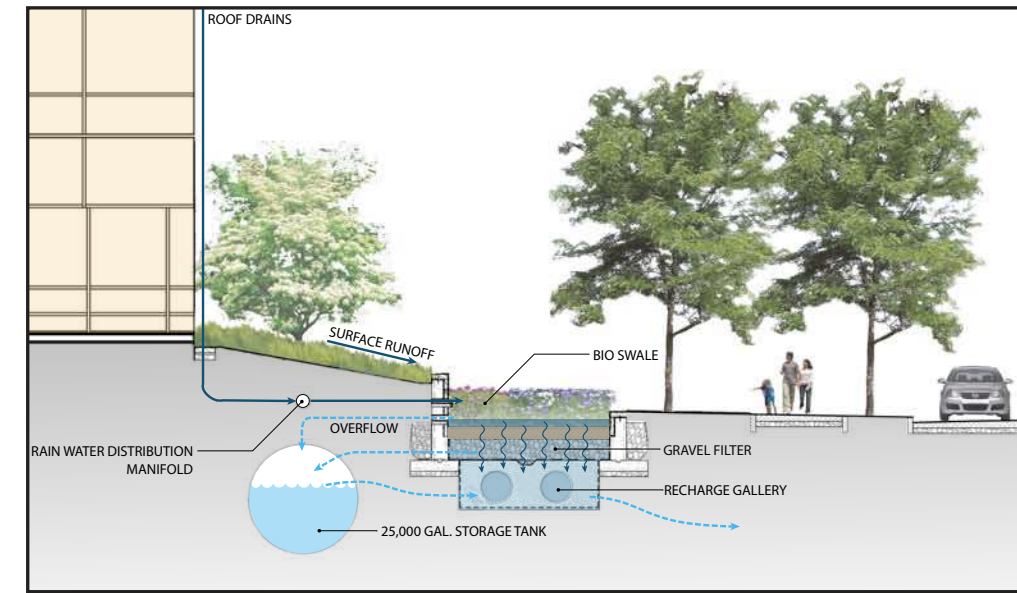
The proposed open space system of the Transit Oriented Development is comprised of existing and proposed natural vegetation and water, streets, parks, plazas and a central green. **The open space system responds to and augments programmatic needs, and is designed to be flexible while encouraging a diversity of both passive and active recreation uses.**



Connection to Geiger Memorial Park and Belmont Lake State Park

SUSTAINABLE STRATEGIES

Site-Specific Recommendations

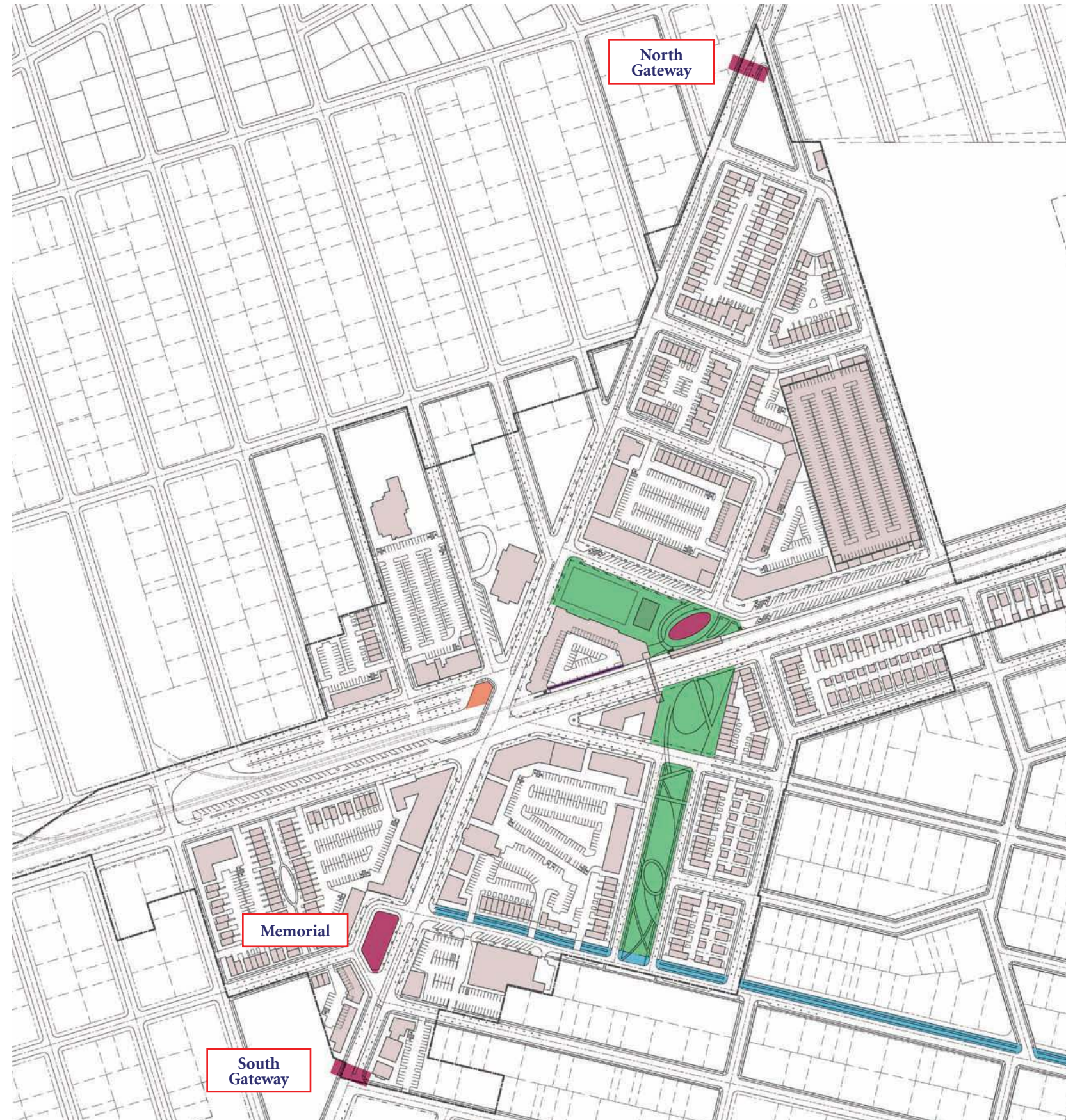


Ground Water Recharge

The diagram to the left, highlights areas where specific sustainable strategies are intended. These strategies include stormwater management, irrigation efficiency, the use of native plant material and appropriate hardscape material. Policy tools, including recycling plans, alternative transportation methods, and bike routes, have been incorporated.



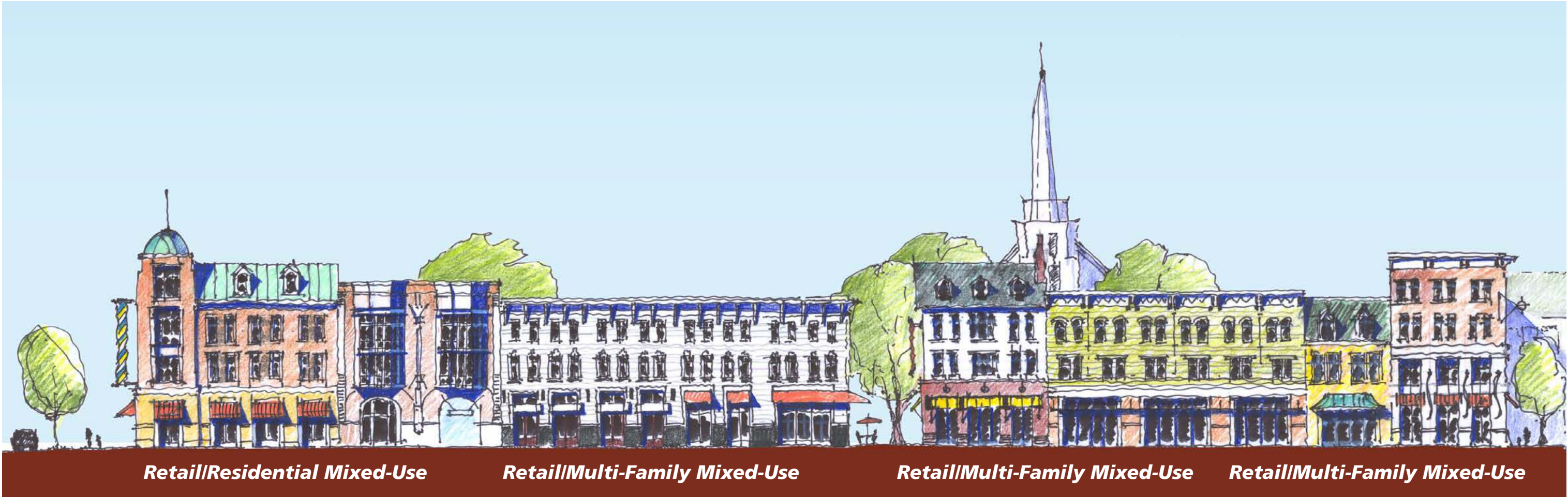
PUBLIC ART DIAGRAM



Art Installation Key

- Site-Specific:** Artwork that is typically created for a specific site. It is often permanent and purely aesthetic.
- Functional Objects:** Artwork that is functional and intended for utilitarian purpose (i.e. drinking fountains, information kiosks, planters, tree guards, tree grates, bike racks, gates, benches).
- Infrastructure-Based:** Artwork that is integrated into the design of a permanent, public structure (i.e. overpasses, site walls).
- System-Wide:** Artwork that is expressed throughout the corridor in a continuous and thematic manner. Elements can be repeated or unique provided that they are consistent with the pre-determined theme.
- Temporary:** Artwork that is created for a temporary function or event.

ARCHITECTURAL VISIONING AND STREET DESIGN



ARCHITECTURE STANDARDS

General

Building Design Principles

Permitted Architectural Styles

Building Detail

To ensure the architectural vision is carried through to the built product, detailed Architecture Standards are included by style. The Standards logically layout the design guidelines and serve as a resource to project teams.

Part 6: Architecture Standards

213-523 Building Design Principles

A. Site Context Analysis
Every building design shall begin with an analysis of the context. This analysis shall include urban design, architecture and the landscape, at the scale of the site and the neighborhood. The analysis shall include an evaluation of the strengths and weaknesses of the context. The architecture of the context shall be studied in terms of its housing types, existing historic styles and their associated techniques, and traditional local responses to macro- and micro-climates.

B. Urban Design Idea
The design of a building shall start with an urban design idea. The primary component of the urban design idea, as articulated in the massing of the building, is the contribution the building makes in defining the public realm. The urban design idea shall address the compositional, proportional and scale relationships between the building and the larger context. Particular attention shall be paid to buildings located in transitional places; in that case a significant component of the urban design idea shall be devoted to dealing with those transitions. A building shall respond appropriately to all frontages. Buildings shall be arranged to define street walls and internal courtyards and usable street spaces. Buildings located at the end of a projected street centerline or a projected open space centerline shall be designed with a vista termination.

C. Design Part and Sustainability Strategy
A building shall have both an articulated design part and a sustainability strategy from its inception. The building part shall recognize the urban design idea, the building type, and the sustainable strategy.

D. Response to Transect
A building design shall respond to its location in the transect.


E. Building Massing

- (1) Massing shall be simple. Buildings shall be composed of one or a few simple boxes. Buildings shall be configured as a single or multiple simple volumes composed of relatively shallow rooms to allow penetration of light into interior volumes and cross-ventilation.
- (2) A building's roof form shall be appropriate to the architectural style. The Eaves, Roofs, and Bays sections of this Code provide more detailed information in this regard.
- (3) Towers, where required by the Regulating Plan, play a civic role. Their positions shall intersect the center-line axis of the view to which they respond, and may encroach into the front setback if necessary. A tower consists of a structure that protrudes one-half to one story above the eave of the principal building, and shall be enclosed below the eave of the principal building but may be enclosed or open to the elements above the eave of the principle building.
- (4) Hierarchy of Massing: When buildings are composed of more than a single volume, they shall embody a clear hierarchy of massing. The location of the main body of the building and the location of the entry for people shall be discernable at a glance.

Part 6: Architecture Standards

I. English Tudor Revival

(1) History
The English Tudor Revival style was prevalent from the 1890s-1940s. It is an eclectic hybridization of the Arts and Crafts characteristics with Elizabethan and Jacobean details applied to the broader, picturesque Medieval cottages and country houses styles. Hallmarks characteristics include: overhanging upper levels, integral wood structural expression, multiple gables facing gables with varying eave heights, and tall, narrow gabled windows with masonry moldings separating each window unit. While exposed half-timbering with masonry infill on the upper stories is a prevalent characteristic of the style, it is not essential. Newer, more advanced, masonry-reinforcing techniques during the 1930s and 30s directly influenced an exponential increase in Tudor Revival popularity in the U.S.



Part 6: Architecture Standards


(3) Massing and Composition: In order to provide for facade articulation appropriate to the English Tudor Revival style, building facades may step back an additional 8' from the required 2' required in 213-504(2); the maximum of 70% of the building facade.

a. Type A: Narrow End Bay

- Narrow Bays shall be no greater than 24' wide.
- Gable front bays shall be used as "End Bays" or as "Special Bays" within a larger facade.
- End bays shall have a dominant front facing gable.
- Windows and door arrangement shall be symmetrical or asymmetrical. A minimum of one floor in a facade shall have a different window arrangement than the other floors.

b. Type B: Narrow Interior Bay

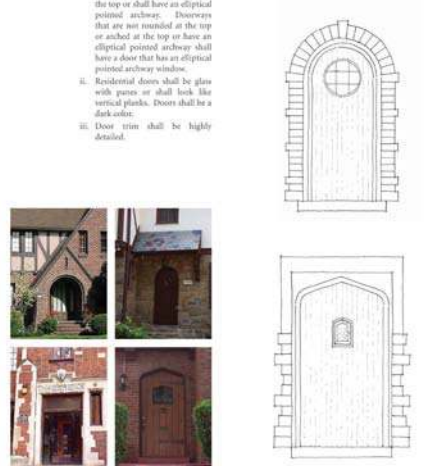
- Narrow Bays shall be no greater than 24' wide.
- Narrow Interior Bays shall be used in an interior bay within a larger facade.
- Narrow Interior Bays shall have a sloping roof parallel to the street or angled at the top or have an elliptical pointed archway window.
- Windows and door arrangement shall be symmetrical or asymmetrical. A minimum of one floor in a facade shall have a different window arrangement than the other floors.



Section 213-524: Permitted Architectural Styles

H. Standard Doors

- Residential doorways shall be rounded at the top or arched at the top or shall have an elliptical pointed archway. Doorways that are not rounded at the top or arched at the top or have an elliptical pointed archway shall have a door that has an elliptical pointed archway window.
- Residential doors shall be glass with panes or shall look like vertical glazing. Doors shall be a dark color.
- Door trim shall be highly detailed.



Section 213-524: Permitted Architectural Styles

213-524 Permitted Architectural Styles

A. Styles appropriate to the regional history and culture are Georgian, Federal, Greek Revival, Italianate, Victorian, and English Tudor. Permitted styles shall be as shown in Table 213-8. All applications for the construction, renovation, or alteration of buildings shall designate which architectural style has been selected, and the building shall follow the requirements for that style as presented in this Part 6. Both vernacular and high-styles shall be permitted.

B. In transect zones T4, T4(-), and T5 Principle-Based design, rather than historic styles, shall be permitted. Principle-Based designs shall adhere to the requirements of Sections 213-522, 213-523, and 213-525 A, B, C, D, E, F, G, H, I (except for (1)a), N, O, P, Q, R, S, T, and U. Principle Based design shall be reviewed in greater detail by the FBGA. The FBGA may require additional drawings (at the FBGA's discretion) such as three-dimensional models/ renderings and details at the Design Review stage in order to review the proposed design. As used in this Part 6, subsections designated "history" are intended to be descriptive and explanatory and not regulatory. In all other subsections of Part 6, architectural elements prefaced by the words "shall," "must," and "essential" are mandatory, and architectural elements prefaced by the words "usually," "typically," "commonly," "should," "may," "illustrate," or similar permissive words are advisory or recommended but not required.

C. In addition to the standards established in this section for each style, building design shall also adhere to the principles contained in A Field Guide to American Houses (McAlester, Virginia and Lee, Consumers Union of United States, 1984), The American Vernacular (Ware, William R., Dover Publications, Inc., 1994) and Traditional Construction Patterns (Mouzon, McGraw-Hill, 2004) except for Principle-Based designs. Technical architectural terms used in this Part 6 shall carry the meanings generally understood within the architecture profession and described in architectural manuals and textbooks in common usage, such as those listed above. Interpretation of such architectural terms shall be made by the Form-Based Code Architect.

D. When the phrase, "... shall be appropriate to the architectural style" is used in this code, it shall mean that the item shall be consistent with the selected style as described in A Field Guide to American Houses (McAlester, Virginia and Lee, Consumers Union of United States, 1984) except for Principle-Based designs.


	T3	T4 (-)	T4	T5	SDC
Georgian / Federal	P	P	P	P	P
Greek Revival	P	P	P	P	P
Italianate	P	P	P	P	P
Victorian	P	P	P	P	N
English Tudor	N	P	P	P	N
Principle-Based	N	N	P	P	P

Part 6: Architecture Standards

(4) Windows and Doors

a. Standard Windows

- Windows shall be casement or hung.
- Gabled windows shall be used in a facade.
- Windows shall have a narrow proportion, with no less than a 2:1 ratio.
- Small transoms above main windows are encouraged in larger buildings.
- Double-hung windows shall have multiple lights on both sides; or diamond lights on upper sash and single pane on lower sash.
- Shutters shall not be used.



Part 6: Architecture Standards

(5) Walls, Gables, and Porches

- Walls shall have projections where material changes occur.
- Use of different material on the first floor than upper floors, or use of a different material on the upper floor than the lower floors is encouraged.
- Stone and brick shall be ornately patterned.
- Wood or fiber-reinforced concrete lap siding is uncommon and shall only be used occasionally and only if determined by the FBGA to be consistent with the regulations and intent of this Article VIII.
- Cyper stories may overhang and their supports shall be visually expressed.
- Roofs shall be an ensemble of gabled and gable forms with occasional flat portions.

b. Gables shall be prominent; may have half-timbering, may have a parapet, and where multiple or cross gables occur, they are encouraged to have overlap or angles defining eave lines.


c. Roof pitches shall be appropriate to the architectural style.

d. Roof eaves shall be minor, up to 12", and banded.

e. Wood shakes and slate, or similar, are encouraged.

f. Front porches shall not be used. Enclosed one story entries shall be permitted and shall be visually expressed.

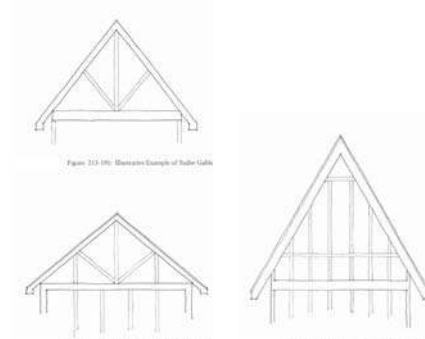
g. Buildings at porches or steps shall be wrought iron or similar.



Section 213-524: Permitted Architectural Styles

I. Gables

a. Overlapping Gables: Overlapping gables shall be prohibited.



J. Skylights: Skylights shall be prohibited except on flat roofs where they shall be flat in profile.


K. Roof Penetrations: Roof penetrations (vents, flues, etc.) shall be located on the slope facing the interior of a block whenever practicable. Equipment shall not be located where visible from frontages. All roof penetrations shall match the color of the roof, or, if metal, may be left natural.

L. Rooftop Equipment: All rooftop mechanical equipment and communication antennae shall be screened from view. Screening shall be integral to the design of the building. Satellite dishes shall be as small as feasible and placed in the location on the property least visible from frontages while still allowing adequate signal reception. Rooftop equipment shall operate in accordance with Chapter 156 of the Code of the Town of Babylon.

M. Photo Voltaic Systems and Solar Hot Water Systems: Photo voltaic systems along frontages shall be flexible panel type (BIPV) attached directly to the roofing material. Solar hot water systems shall not be located along frontages. Photo voltaic and solar hot water systems on interior facing pitched roofs and flat roofs shall be permitted. Such systems shall be adequately screened from view from frontages by parapets or other architecturally integrated screening devices.

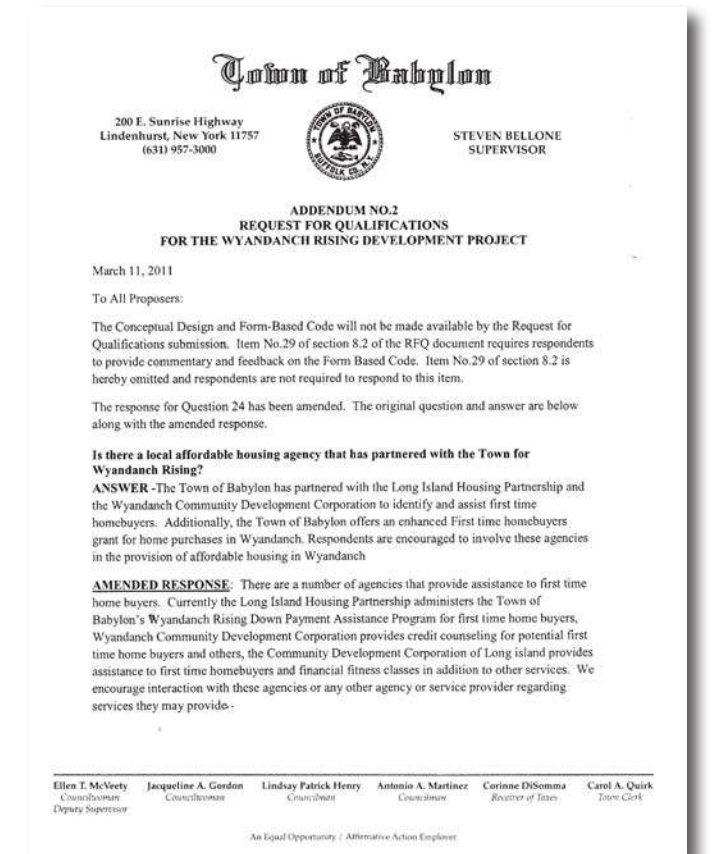
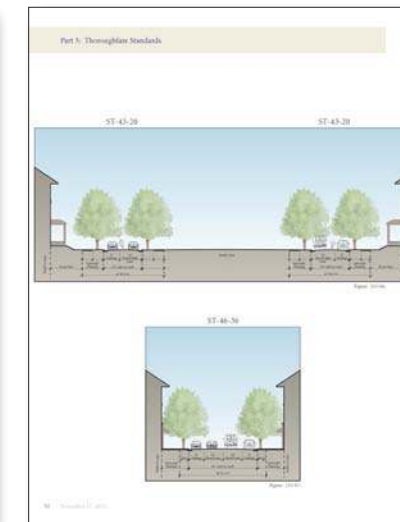
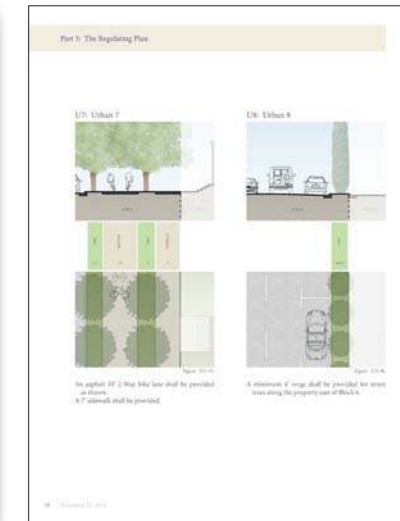
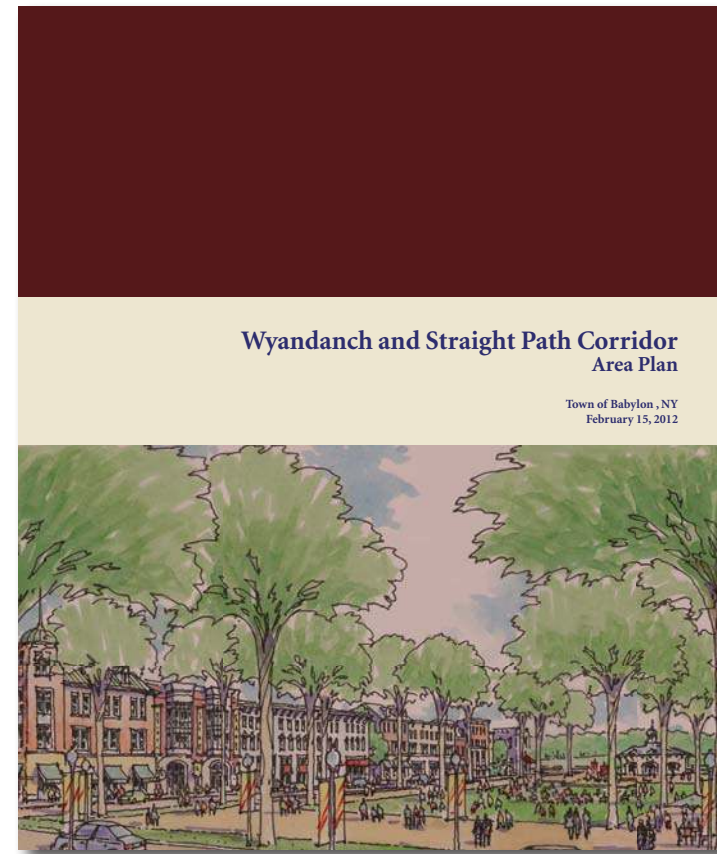
N. Green Roofs: Planting on flat roofs shall be permitted.

O. Flat Roofs: Flat roofs shall have light finishes.



English Tudor Revival Style Standards

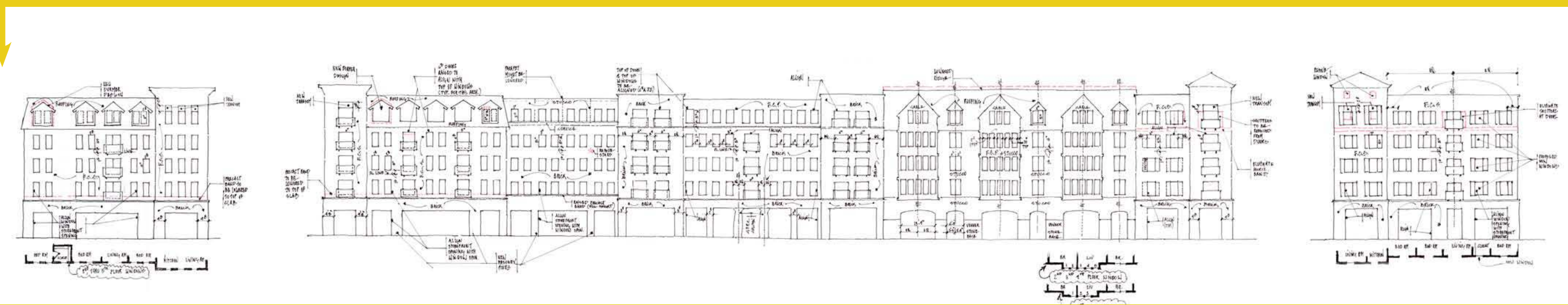
CODE IMPLEMENTATION Process



TOWN ARCHITECT REVIEW Process



Initial Architecture Submission



Town Architect Reviews



Final Architecture Submission

